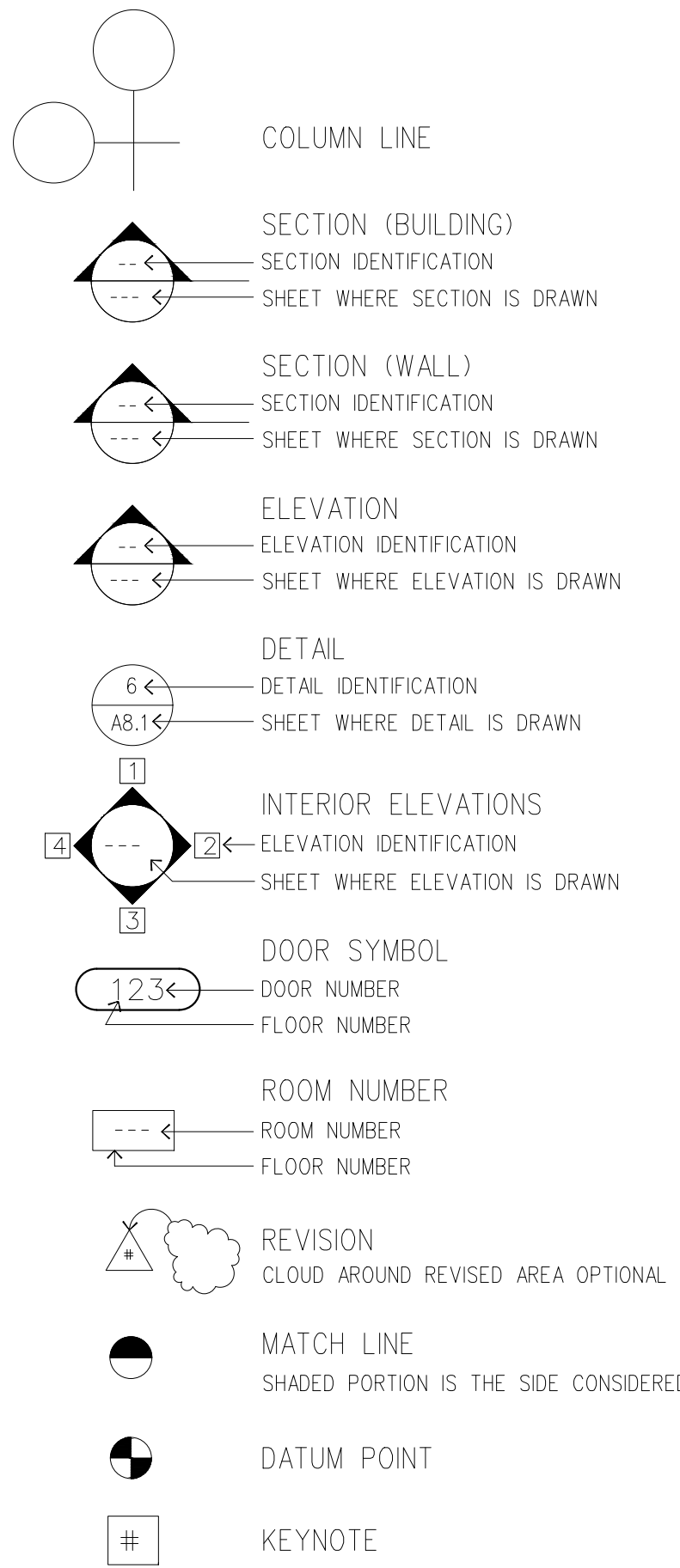




GREAT SCOTT TREE CARE

20751 & 20761 LINEAR LANE
LAKE FOREST, CA 92630

City Project Numbers: GPA 03-18-5145, ZC 03-18-5146, TPM 2023-169,
Development Agreement



SYMBOLS 27

A	AND	EL. ELEVATION
L	ANGLE	ELEC. ELECTRICAL
R	AT	ELEV. ELEVATOR
CL	CENTERLINE	EMER. EMERGENCY
Ø	DIAMETER OR ROUND POUND OR NUMBER	ENCL. ENCLOSURE
E	EXISTING	E.P. ELECT. PANELBOARD
ACOUS.	ACOUSTICAL	EQ. EQUAL
AD.	AREA DRAIN	EQPT. EQUIPMENT
ADJ.	ADJUSTABLE	E.W.C. ELECT. WATER COOLER
AGGR.	AGGREGATE	EXST. EXISTING
AL.	ALUMINUM	EXP. EXPOSED
APPROX.	APPROXIMATE	EXP. EXPANSION
ARCH.	ARCHITECTURAL	EXT. EXTERIOR
ASB.	ASBESTOS	F
ASPH.	ASPHALT	F.A. FIRE ALARM
BD.	BOARD	F.B. FLAT BAR
BITUM.	BITUMINOUS	F.D. FLOOR DRAIN
BLDG.	BUILDING	FDN. FOUNDATION
BLK.	BLOCK	F.E. FIRE EXTINGUISHER
BLKG.	BLOCKING	F.E.C. FIRE EXTINGUISHER CAB.
BLM.	BEAM	F.F. FINISH FLOOR
BOT.	BOTTOM	F.H.C. FIRE HOSE CABINET
CAB.	CABINET	FL. FLOOR
C.B.	CATCH BASIN	FLASH. FLASHING
CEM.	CEMENT	FLUOR. FLUORESCENT
CER.	CERAMIC	F.D.C. FACE OF CONCRETE
C.I.	CAST IRON	F.D.F. FACE OF FINISH
C.G.	CORNER GUARD	F.D.M. FACE OF MASONRY
C.L.	CEILING	F.D.S. FACE OF STUD
CLKG.	CAULKING	FRF. FIREPROOF
CLO.	CLOSET	FRW.G. FRAMING
CLR.	CLEAR	F.S. FULL SIZE
C.O.	CASED OPENING	FT. FOOT OR FEET
COL.	COLUMN	FTG. FOOTING
CONC.	CONCRETE	FURR. FURRING
CONN.	CONNECTION	FUT. FUTURE
CONSTR.	CONSTRUCTION	G
CONT.	CONTINUOUS	GA. GAUGE
CORR.	CORRIDOR	GALV. GALVANIZED
CTSK.	COUNTERSUNK	G.B. GRAB BAR
CNTR.	COUNTER	G.I.S.M. GALV. IRON SHT. MET.
CTR.	CENTER	GL. GLASS
DB.	DOUBLE	GND. GROUND
DEPT.	DEPARTMENT	GR. GRADE
D.F.	DRINKING FOUNTAIN	GYP. GYPSUM
DET.	DETAIL	H
DIA.	DIAMETER	H.B. HOSE BIB
DIM.	DIMENSION	H.C. HOLLOW CORE
DISP.	DISPENSER	HDWD. HARDWOOD
DN.	DOWN	HDWE. HARDWARE
D.O.	DOOR OPENING	H.M. HOLLOW METAL
D.R.	DRIVER	HORIZ. HORIZONTAL
D.S.P.	DOWNSPOUT	HR. HOUR
DWG.	DRAWING	HGT. HEIGHT
E	EAST	I
EA.	EACH	LD. INSIDE DIAMETER (DIM.)
E.D.F.	ELECT. DRINKING FOUNT.	INSUL. INSULATION
E.J.	EXPANSION JOINT	INT. INTERIOR
		J
		JAN. JANITOR
		JT. JOINT
		K
		KIT. KITCHEN
		L
		LAB. LABORATORY
		S
		S. SOUTH
		S.C. SOLID CORE

ABBREVIATIONS 25

LAM. LAMINATE	S.C.D. SEAT COVER DISPENSER
LAV. LAVATORY	SCHED. SCHEDULE
LKR. LOCKER	S.D. SOAP DISPENSER
LT. LIGHT	SECT. SECTION
M	SH. SHELL
MAX. MAXIMUM	SHR. SHOWER
M.C. MEDICINE CABINET	SHT. SHEET
MECH. MECHANICAL	SM. SIMILAR
MEMB. MEMBRANE	S.N.D. SANITARY NAPKIN DISP.
MET. METAL	S.N.R. SANITARY NAPKIN RECEPT.
MFR. MANUFACTURER	SPEC. SPECIFICATION
MH. MANHOLE	SQ. SQUARE
MIN. MINIMUM	S.S.T. STAINLESS STEEL
MIR. MIRROR	S.S.K. SERVICE SINK
MISC. MISCELLANEOUS	STA. STATION
M.O. MASONRY OPENING	STD. STANDARD
MTD. MOUNTED	STL. STEEL
MTL. MATERIAL	STOR. STORAGE
MULL. MULLION	STR.L. STRUCTURAL
N	SUSP. SUSPENDED
N. NORTH	SYM. SYMMETRICAL
N.I.C. NOT IN CONTRACT	T
NO. NUMBER	TRD. TREAD
NOM. NOMINAL	T.B. TOWEL BAR
N.T.S. NOT TO SCALE	T.C. TOP OF CURB
O	T.L. TELEPHONE
O.A. OVERALL	TERR. TERRAZZO
OBS. OBSCURE	T.G. TONGUE AND GROOVE
O.C. ON CENTER	THK. THICK
O.D. OUTSIDE DIAMETER (DIM.)	T.O.P. TOP OF PARAPET
OFF. OFFICE	T.P. TOP OF PAVEMENT
OPNG. OPENING	T.P.D. TOILET PAPER DISPENSER
OPP. OPPOSITE	T.V. TELEVISION
P	T.W. TOP OF WALL
PRCST. PRE-CAST	TYP. TYPICAL
U	
P.L.P. PROTECT IN PLACE	U. UNFINISHED
PL. PLATE	U.O.N. UNLESS OTHERWISE NOTED
P. LAM. PLASTIC LAMINATE	UR. URINAL
V	
PLAS. PLASTER	VERT. VERTICAL
PLYWD. PLYWOOD	VEST. VESTIBULE
PR. PAR	V.I.F. VERIFY IN FIELD
PT. POINT	W
P.T.D.R. PAPER TOWEL DISPENSER	W. WEST
P.T.D./R COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE	W/ WITH
P.T.R. PAPER TOWEL RECEPTACLE	W.C. WATER CLOSET
Q	WD. WOOD
O.T. QUARRY TILE	W/O WITHOUT
R	W.P. WATERPROOF
R. RISER	WSCT. WANSCOAT
RAD. RADIUS	WT. WEIGHT
R.D. ROOF DRAIN	
REF. REFERENCE	
REF. REFRIGERATOR	
ROTR. REGISTER	
REINF. REINFORCED	
REQ. REQUIRED	
RESL. RESILIENT	
RM. ROOM	
R.O. ROUGH OPENING	
RWD. REDWOOD	
R.W.L. RAIN WATER LEADER	
S	
S. SOUTH	
S.C. SOLID CORE	

1 THE ARCHITECT WILL BE THE INTERPRETER OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE JUDGE OF THE PERFORMANCE THEREUNDER BY BOTH OWNER AND CONTRACTOR.
2 THE ARCHITECT'S DECISIONS IN MATTERS RELATING TO THE ARTISTIC EFFECT WILL BE FINAL IF CONSISTENT WITH MATTERS OF THE CONTRACT DOCUMENTS.
3 ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE CURRENT EDITION OF THE CBC, LOCAL CODES AND AUTHORITIES.
4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ELEMENTS SHOWN ON THESE DRAWINGS.
5 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK SHOWN BY THE CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK KNOWING OF AN ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT.
6 SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE, UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATE METHOD AND/OR MATERIALS.
7 THE CONTRACTOR SHALL CONFINE HIS OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE LAWS, LOCAL ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS.
8 THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCLUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
9 ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
10 THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENHANCE ANY OTHER WORK BY CUTTING, EXCAVATING OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
11 NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN APPROVED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES.
12 DIMENSIONS: A. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. B. ALL DIMENSIONS ARE TO THE FINISH UNLESS OTHERWISE NOTED. C. CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR SLAB, TO FACE OF FINISH CEILING MATERIAL UNLESS OTHERWISE NOTED.
13 ALL LEGAL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. EXIT SIGNS SHALL BE PROVIDED AT ALL EXITS AS REQUIRED BY THE CODE. ALL DOOR SWINGS SERVING AN OCCUPANT LOAD OF 50 OR GREATER SHALL SWING IN THE DIRECTION OF EXIT.
14 PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT AND OTHER ITEMS AS REQUIRED.
15 WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
16 ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE FIRE PREVENTION AGENCY HAVING JURISDICTION AND CONCEALED SPACES, AND AT OPENING AROUND VENTS, PIPES, DUCTS, ETC.
17 PROVIDE ALL ACCESS PANELS AS REQUIRED BY THE GOVERNING CODE TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY TYPE WITH ARCHITECT PRIOR TO INSTALLATION.
18 BUILDING NUMBERS SHALL BE EASILY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
19 EXITS SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH LIGHT HAVING AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT FLOOR LEVEL, PER CBC SECTION 102.1.
20 EXIT SIGNS SHALL BE ILLUMINATED BY TWO LAMPS OR BE OF AN APPROVED SELF-LUMINOUS TYPE. CURRENT TO ONE LAMP SHALL BE PROVIDED BY THE PREMISE'S WIRING SYSTEM. POWER TO THE SECOND LAMP OF THE EXIT SIGNS SHOULD BE FROM STORAGE BATTERIES OR ON-SITE GENERATOR.
21 FIRE BLOCKING FIRE BLOCK STUD WALLS AT 10' INTERVALS BOTH HORIZONTAL AND VERTICAL, ENCLOSED AND CONCEALED SPACES, AND AT OPENING AROUND VENTS, PIPES, DUCTS, ETC.
22 INSULATION AND COVERING ON PIPE AND TUBING SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH CBC STANDARD 8-1, EXCEPT FOR FOAM PLASTIC INSULATION WHICH SHALL COMPLY WITH SECTION 2602.
23 INSULATION MATERIALS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALLS, CEILING SPACES OR ATTICS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH CBC STANDARD 8-1, EXCEPT FOR FOAM PLASTIC INSULATION WHICH SHALL COMPLY WITH SECTION 2602.
24 SEE CFC ARTICLE 87 FOR FIRE SAFETY DURING CONSTRUCTION.

GENERAL NOTES 20

PROJECT ZONING DATA
PARCEL 1: EXISTING ZONING: MI LIGHT INDUSTRIAL/PD PLANNED DEVELOPMENT, A1 AGRICULTURE UI 25 PROPOSED ZONING: 88,997 SF. 10.1 OR 8,900 SF. 6,939 SF. < 8,900 - OK MAX. FAR: 15% OF 88,997 = 13,349.5 SF BUILDING AREA: 30,903 SF. * 34.7 % PROVD OPEN AREA:
PARCEL 2: EXISTING ZONING: MI LIGHT INDUSTRIAL/PD PLANNED DEVELOPMENT PROPOSED ZONING: OPEN SPACE CONSERVATION PARCEL AREA: 203,510 S.F COUNTY OF ORANGE SCENIC PRESERVATION EASEMENT: 241,990 S.F. ALLOWED DEVELOPMENT WITHIN EASEMENT IS: 15% OR 36,298 S.F. PROJECT WILL DISTURB: 36,295 S.F.
SITE DEVELOPMENT STANDARDS
PROPOSED ZONE: URBAN INDUSTRIAL 25
SETBACKS: PERMITTED: 10'-0" FROM STREET & PROPERTY LINE EXISTING: UNDER 10'-0" TO PRIVATE DR. - SEE SITE PLAN PROPOSED: 10'-0" FROM STREET & PROPERTY LINE - UNDER 10'-0" @ OFFICE PORCH & TRASH ENCLOSURE TO PRIVATE DR. - SEE SITE PLAN.
BLDG. HEIGHT: PERMITTED: 35'-0" (BARN), ~20'-9" (OFFICE) PROPOSED: 22'-6" (BARN), ~20'-9" (OFFICE)
OPEN SPACE: PERMITTED: MIN. 15% OF PROJECT'S NET AREA PROPOSED: 15% (PARCEL 1 ONLY)
FAR: PERMITTED: 10:1 MAX PROPOSED: 10:078 (PARCEL 1 ONLY)
GENERAL NOTE: A PLAQUE WILL BE ADDED TO THE PROJECT RECOGNIZING THAT THIS PROJECT IS LOCATED WITHIN THE GEOGRAPHIC BOUNDARIES AND ANCESTRAL TERRITORY OF THE GABRIELENO TRIBE-KIHN NATION.
ZONING DATA 14
CODE: 2022 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, CBCS 2022 CALIFORNIA BUILDING CODE (CBC), PART 2, CBCS WITH CALIFORNIA AMENDMENTS 2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, CBCS 2022 CALIFORNIA MECHANICAL CODE (CMC), PART 4, CBCS 2022 CALIFORNIA PLUMBING CODE (CPC), PART 5, CBCS 2022 CALIFORNIA ENERGY CODE, PART 6, CBCS 2022 CALIFORNIA FIRE CODE, PART 9, CBCS 2022 CALIFORNIA REFERENCED STANDARDS, PART 12, CBCS 2022 CALIFORNIA GREEN BUILDING STANDARD CODE (CGBCS) TITLE 19 C.C.R., PUBLIC SAFETY, S.F.M REGULATIONS PARTIAL LIST OF APPLICABLE STANDARDS AMERICANS WITH DISABILITIES ACT (ADA), TITLE II OR TITLE III FOR TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (IFAS) OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36). FOR TITLE III: ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36) NFPA 72, NATIONAL FIRE ALARM CODE (CA AMENDED) 2020 EDITION REFERENCE CODE SECTION FOR NFPA STANDARDS-CBC (SFM) CHAPTER 35. ASME A17.1/CSA B44-2007 ASME A18.1-2005

APPLICABLE CODES 15

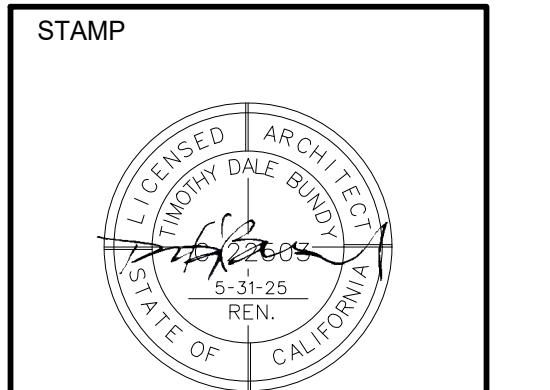
SCOPE OF WORK 08
PROJECT DATA
CONSTRUCTION TYPE: V-B OCCUPANCY GROUP: B FIRE SPRINKLER: TBD BASIC ALLOWABLE HEIGHT PER C.B.C. TABLE 504.3: TBD BASIC ALLOWABLE STORIES - TYPE IIB PER C.B.C. TABLE 504.4: 1 GROSS SITE AREA: PARCELS 1 & 2 292,507 SF. (6.72 AC) BUILDING (OFFICE) FOOTPRINT: 2,360 SF. EXISTING BARN (STORAGE) : 3,712 SF. EXISTING SHOP BUILDING : 400 SF. STEEL CONTAINERS: (8'X20'X160 S.F.) X (4) 640 SF. TOTAL BLDG AREA: 7,112 SF. PARCEL 1 - PAVING/SURFACING IN COMPLIANCE W/ L.F.M.C SECTION 9.168.030. PARKING AND DRIVE AISLE AREA: 51,155 SF.
PARKING REQUIRED
OFFICE: 2,360 @ 1 / 250 = 9.4 10 STALLS BARN: SITE RELATED STORAGE ONLY 0 STALLS SHOP: SITE RELATED WORK ONLY 0 STALLS CONTAINERS: SITE RELATED STORAGE ONLY 0 STALLS TOTAL AUTO REQUIRED PARKING: 10 STALLS PARKING PROVIDED: TO MEET L.F.M.C CODE SEC.9.159.060: SEE 14/A.4 STANDARD STALL: 9' X 19' 7 STALLS VAN ACCESSIBLE ADA STALL: 9' X 18' + 8' LOADING 1 STALL ACCESSIBLE EVCS STALL: 12' X 18' + 5' LOADING 1 STALL STD EVCS STALL: 9' X 18' 1 STALL TOTAL PROVIDED AUTO PARKING: 10 STALLS ADDITIONAL TRUCK PARKING PROVIDED: 26' TRUCK 11' X 35' 5 STALLS 21' TRUCK 13' X 43' 18 STALLS TOTAL PROVIDED TRUCK PARKING: 23 STALLS

PROJECT DATA 10

ARCHITECTURAL
SHEET NO. SHEET TITLE
A0.1 GENERAL INFORMATION
A1.0.1 EXISTING ZONING & LAND USE EXHIBIT
A1.0.2 PROPOSED ZONING & LAND USE EXHIBIT
A1.0.3 AERIAL IMAGE
A1.1 SITE PLAN
A1.2 ENLARGED SITE PLAN
A1.3 ENLARGED SITE PLAN
A1.4 SITE PLAN DETAILS
A1.5 COLORED SITE PLAN
A2.0 DEMO FLOOR PLAN
A2.1 OFFICE FLOOR PLAN
A2.2 OFFICE ROOF PLAN
A3.1 OFFICE EXTERIOR ELEVATIONS
A4.1 BARN FLOOR PLAN AND EXTERIOR ELEVATION
A4.2 SHOP & STORAGE FLOOR PLAN, EXTERIOR ELEVATIONS, GENERAL INFO
LANDSCAPE
SHEET NO. SHEET TITLE
L-1 PRELIMINARY LANDSCAPE PLAN
L-2 ENLARGED PRELIMINARY LANDSCAPE PLAN
L-3 ENLARGED PRELIMINARY LANDSCAPE PLAN
L-4 DETAILS, NOTES & LEGEND
SHEET INDEX 02
OWNER
GRIFFITHS RANCH, LLC 12 POLLENA IRVINE, CA 92602 PHONE: (714) 850-1750 EMAIL: sgriffiths@qstinc.com ATTN: SCOTT GRIFITHS
OWNER'S REP
TRESTLE COMPANIES 3050 PULLMAN ST., STE. 524 COSTA MESA, CA 92626 PHONE: (949) 751-7600 EMAIL: Brian.Frocks@trestlecompanies.com ATTN: BRIAN FROCK
CIVIL ENGINEER
HUITT ZOLLARS 2603 MAIN ST., STE.400 IRVINE, CA 92614 PHONE: (949) 989-5815 EMAIL: Mhsallinger@huittz-zollars.com ATTN: MARC HASLINGER
ENVIRONMENTAL
EPD SOLUTIONS, INC. 3333 MICHELSON DR., STE.600 IRVINE, CA 92612 PHONE: (949) 794-1180 EMAIL: selena@epdsolutions.com ATTN: SELENA KELAHER
LANDSCAPE ARCHITECT
CHARLES TROWBRIDGE AND ASSOCS. 17981 MICHELLE AVE. SANTA ANA, CA 92702 PHONE: (714) 532-3663 EMAIL: charst2@trowbridge.com ATTN: CHARLES TROWBRIDGE
PROJECT DIRECTORY 03
1 FIRE ACCESS ROADWAY IDENTIFICATION, FIRE LANE AND REQUIRED SIGNAGE SHALL BE PROVIDED PER ORANGE COUNTY FIRE AUTHORITY STANDARDS. 2 LUMBER DROP INSPECTION: A LUMBER DROP INSPECTION SHALL OCCUR PRIOR TO BRINGING COMBUSTIBLE BUILDING MATERIALS ON SITE. 3 FIRE HYDRANTS SHALL BE LOCATED PER ORANGE COUNTY FIRE AUTHORITY STANDARDS. 4 FIRE HYDRANT FLOW TESTS SHALL BE MADE PER ORANGE COUNTY FIRE AUTHORITY STANDARDS.
FIRE NOTES 04
PROJECT LOCATION
VICINITY MAP 05

VICINITY MAP 05

BUNDY-FINKEL Architects
1120 BRISTOL STREET STE 120
COSTA MESA, CA 92626
TEL 714 850 7575
FAX 714 850 7576



PROJECT NAME:
GREAT SCOTT TREE CARE

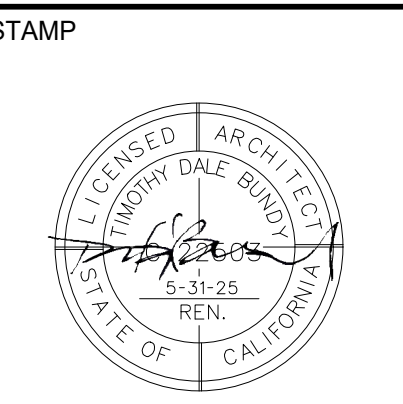
20751 & 20761 LINEAR LN
LAKE FOREST, CA 92630

SHEET TITLE
GENERAL INFORMATION

PROJECT NO.: 23-808
LAST ISSUE DATE: 10-02-23
BY: JA CHKD: TB

USE PERMIT PLANNING SUBMITTAL 10-12-23
USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
USE PERMIT PLANNING RE-SUBMITTAL 03-23-24
USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808_A0_1_G.dwg
A0.1



PROJECT NAME:
**GREAT SCOTT
 TREE CARE**
 20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

SHEET TITLE
**EXISTING
 ZONING &
 LAND USE
 EXHIBIT**

NOTICE: THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS AND SCHEDULES, ARE PROPRIETARY AND SHALL NOT BE COPIED, REPRODUCED, REUSED OR COMMERCIALLY EXPLOITED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF ARCHITECTS AND ENGINEERS. BUNDY-FINKEL ARCHITECTS DOES NOT WARRANT IN ANY MANNER THE ACCURACY OF THE INFORMATION AND DOES NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS AND THE INFORMATION OF THE ARCHITECTS AND ANY OTHER PERSONNEL, CONTRACTORS, CONSULTING AGENCIES, VENDORS AND OFFICIAL PERSONNEL, ONLY IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF ARCHITECTS AND ENGINEERS. ADDITIONALLY, CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT SCALE THE DRAWING IN ANY MANNER.

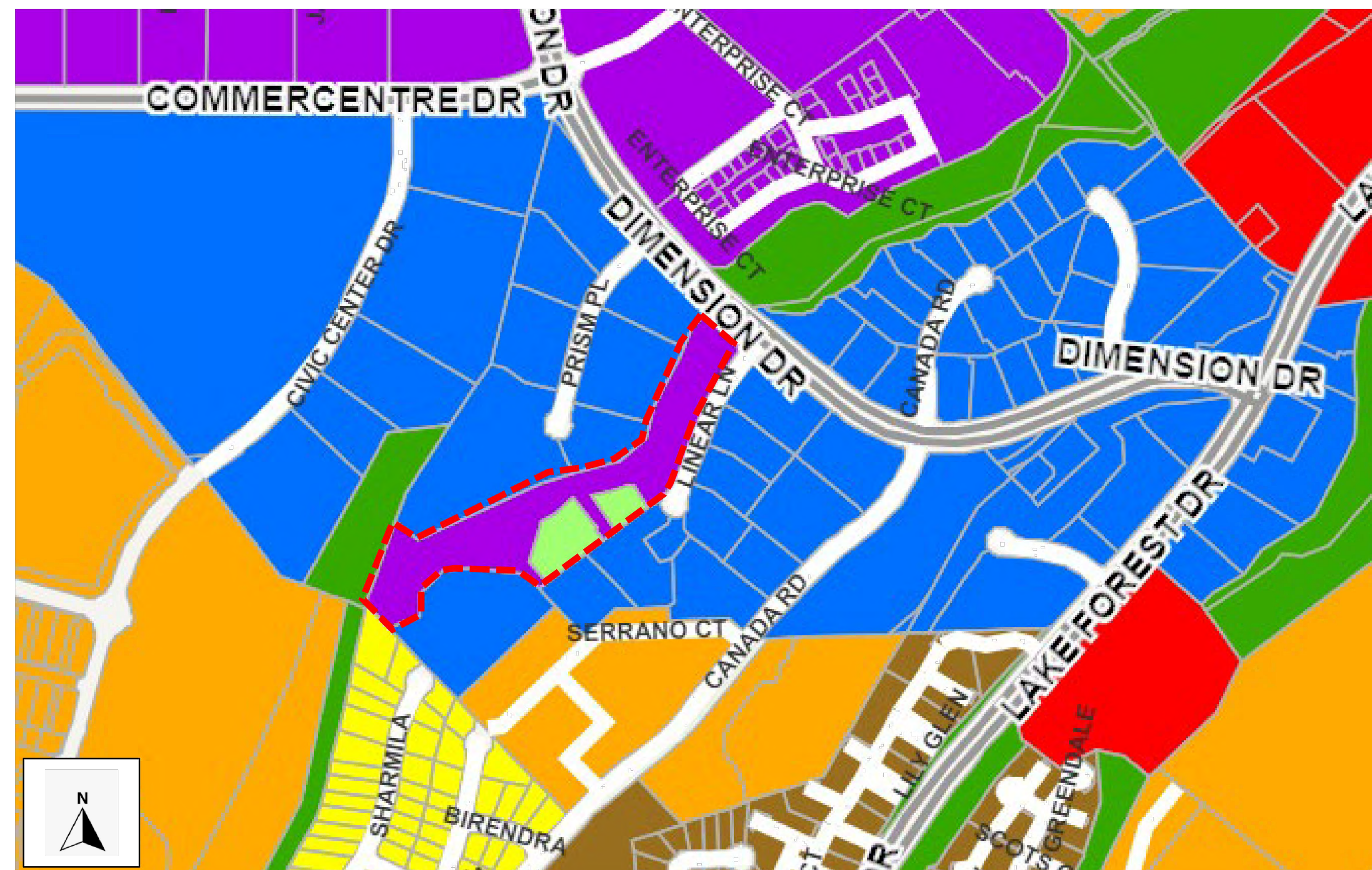
PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

USE PERMIT PLANNING RE-SUBMITTAL 10-02-23
 USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
 USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
 USE PERMIT PLANNING RE-SUBMITTAL 03-22-24
 USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808_AL0.1_ZN_INFO.dwg

SHEET
A1.0.1

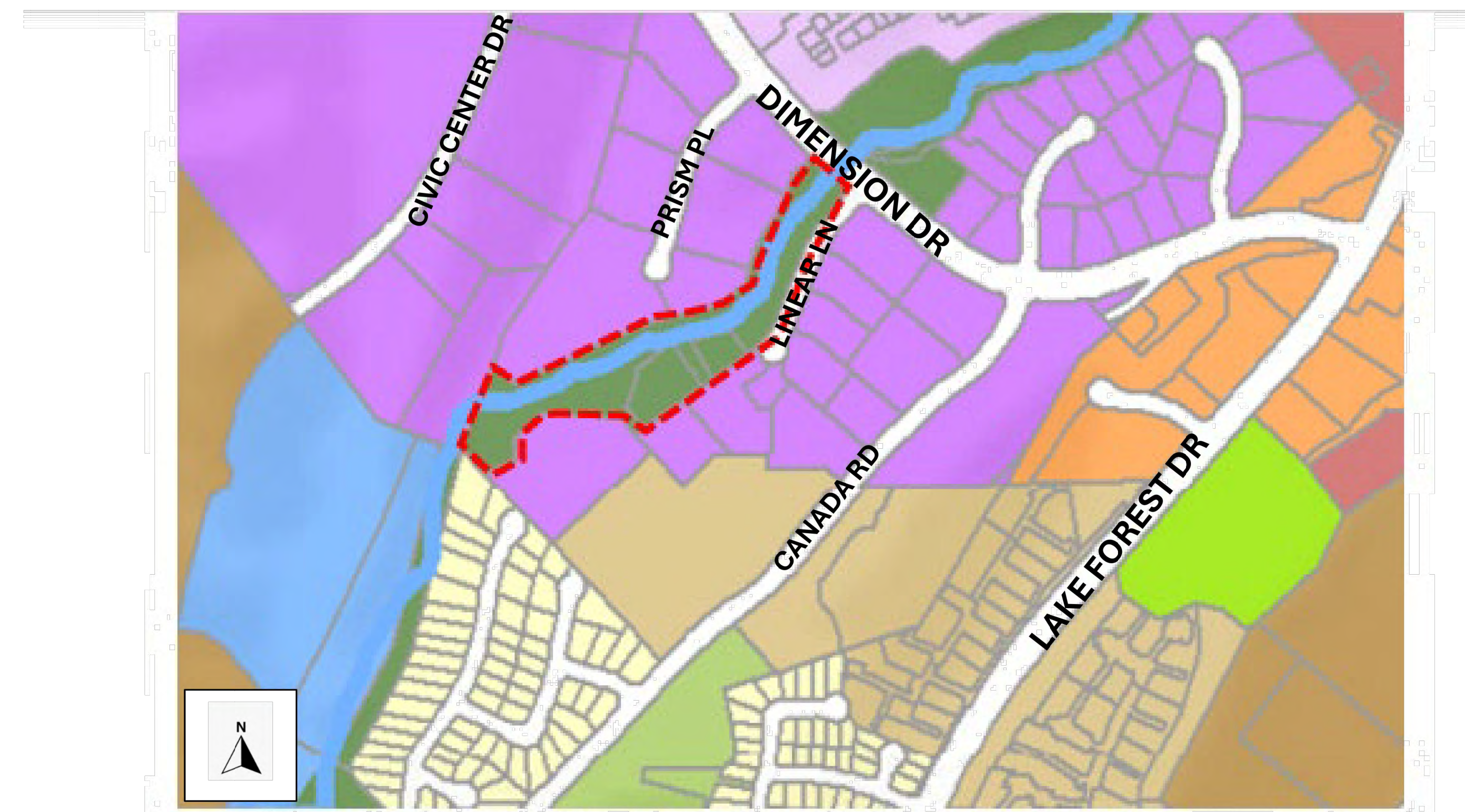
EXISTING ZONING



- M1 Light Industrial/PD Planned Development
- A1 Agriculture
- UI 25 (Urban Industrial 25)
- Project Site

A EXISTING ZONING MAP

EXISTING GENERAL PLAN



- Legend**
- City of Lake Forest
 - Assessor Parcel Boundary
 - Low Density Residential
 - Low-Medium Density Residential
 - Medium Density Residential
 - High Density Residential
 - Commercial
 - Project Site
 - Mixed-Use 32
 - Mixed-Use 43
 - Business Park
 - Mixed Use Office
 - Professional Office
 - Light Industrial
 - Urban Industrial 25
 - Urban Industrial 43
 - Public Facility
 - Community Park/Open Space
 - Regional Park/Open Space
 - Open Space
 - Lake
 - Transportation Corridor

B EXISTING GENERAL PLAN

PROJECT LOCATION MAP



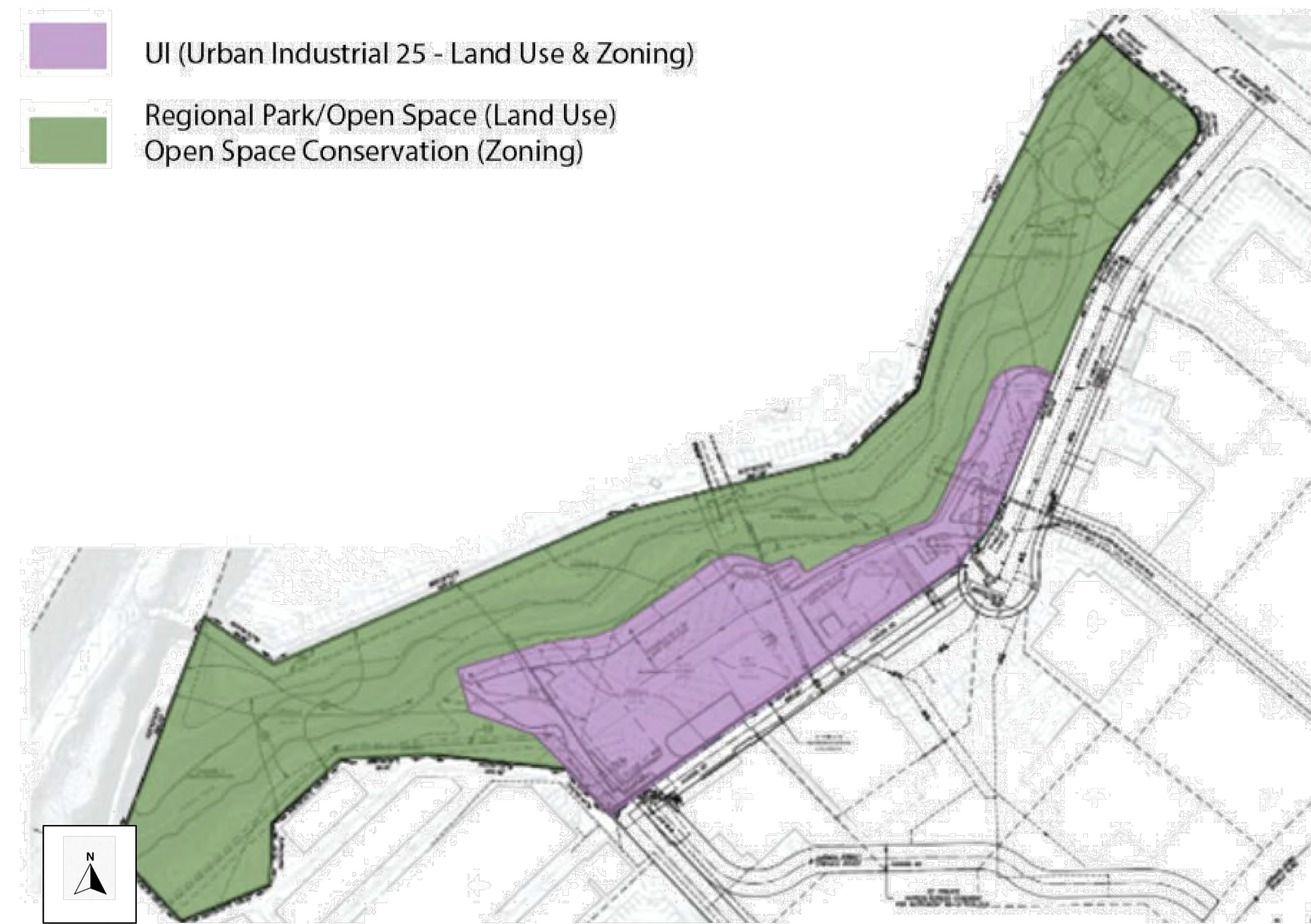
Project Site

A LOCATION MAP

PROPOSED ZONING AND LAND USE

TENTATIVE PARCEL MAP 2023-169

- UI (Urban Industrial 25 - Land Use & Zoning)
- Regional Park/Open Space (Land Use)
Open Space Conservation (Zoning)



C PROPOSED ZONING MAP

ASSESSOR PARCEL NUMBERS



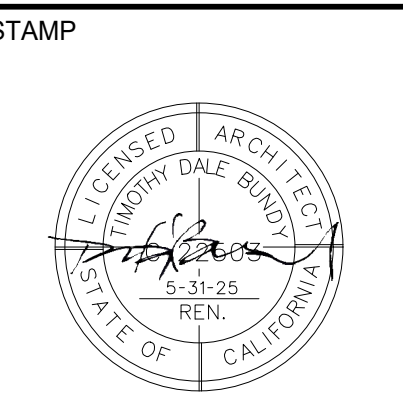
B PROPOSED PARCEL MAP

TABLE 1 – GENERAL PLAN AND ZONING

EXISTING AND PROPOSED

Parcel No.	Existing General Plan Designation	Existing Zoning Designation	Proposed General Plan Designation	Proposed Zoning Designation
610-301-07 	Regional Park/ Open Space	M1 Light Industrial/ PD Planned Development	Regional Park/ Open Space	Open Space Conservation
*Portion of 610-301-07 between parcels 610-301-20 & 21 	Regional Park/ Open Space	M1 Light Industrial/ PD Planned Development	Urban Industrial 25	Urban Industrial 25
610-301-20 	Regional Park/ Open Space	A1 Agriculture	Urban Industrial 25	Urban Industrial 25
610-301-21 	Regional Park/ Open Space	A1 Agriculture	Urban Industrial 25	Urban Industrial 25

D PROPOSED ZONE CHANGE TABLE



PROJECT NAME:

GREAT SCOTT TREE CARE

20751 & 20761 LINEAR LN
LAKE FOREST, CA 92630

SHEET TITLE

PROPOSED ZONING & LAND USE EXHIBIT

NOTICE: THE DESIGN SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS, AND MODEL RENDERINGS, ARE PROPRIETARY AND SHALL NOT BE COPIED, QUOTED, REPRODUCED, REUSED, OR COMMERCIALLY EXPLOITED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF ARCHITECTS AND ENGINEERS REGISTERED IN THE STATE OF CALIFORNIA. BUNDY-FINKEL ARCHITECTS DOES NOT WARRANT IN ANY MANNER THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS AND THE INFORMATION OF THE ARCHITECTIC AND ENGINEERING NATURE ARE LIMITED TO THE USE AND OBLIGATION OF THE CLIENT. CONSULTANTS, CONTRACTORS, ENGINEERS, ARCHITECTS, AND OTHER PROFESSIONALS SHALL VERIFY DIMENSIONS AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS. ADDITIONALLY, CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS. ALL RIGHTS RESERVED. © COPYRIGHT, BUNDY-FINKEL ARCHITECTS, 2024

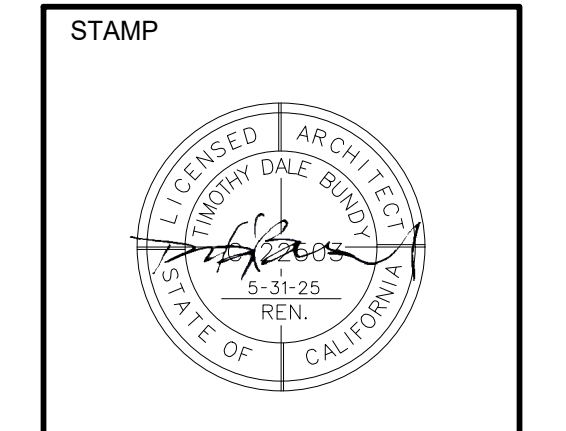
PROJECT NO.: 23-808
LAST ISSUE DATE: 10-02-23
BY: JA CHKD: TB

USE PERMIT PLANNING RE-SUBMITTAL 10-02-23
USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
USE PERMIT PLANNING RE-SUBMITTAL 03-23-24
USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808_AL0_1_ZN_INFO.dwg



A AERIAL PHOTO



PROJECT NAME:
GREAT SCOTT TREE CARE
 20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

SHEET TITLE
AERIAL IMAGE

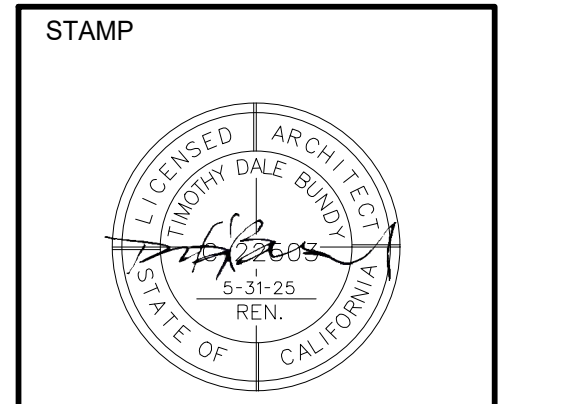
NOTES: THE DESIGN SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS AND SCHEDULES, IS PROPRIETARY AND SHALL NOT BE COPIED, REPRODUCED, REUSED OR COMMERCIALLY EXPLOITED IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF ARCHITECTURE AND ENGINEERING CONTRACTORS. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS AND THE INFORMATION OF THE ARCHITECTING AND ENGINEERING CONTRACTORS, CONTRACTORS, GOVERNING AGENCIES, VENDORS, AND OTHER PERSONNEL, ONLY IN ACCORDANCE WITH THE RULES. ADDITIONALLY, CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT SCALE THE DRAWING IN ANY WAY.

PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

- USE PERMIT PLANNING SUBMITTAL 10-02-23
- USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
- USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
- USE PERMIT PLANNING RE-SUBMITTAL 03-22-24
- USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808_AL.O_2_SP_IMG.dwg

SHEET
A1.0.3



PROJECT NAME:
GREAT SCOTT TREE CARE
 20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

SHEET TITLE
PROPOSED SITE PLAN

PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

OC PARKS ENCROACHMENT PERMIT
 09-19-23
 USE PERMIT PLANNING RE-SUBMITTAL
 10-02-23
 USE PERMIT PLANNING RE-SUBMITTAL
 12-21-23
 USE PERMIT PLANNING RE-SUBMITTAL
 01-26-24
 USE PERMIT PLANNING RE-SUBMITTAL
 03-22-24
 USE PERMIT PLANNING RE-SUBMITTAL
 05-09-24

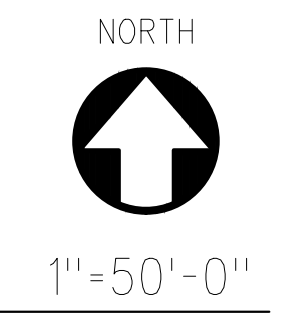
FILE: 808 AL1 SP.dwg
SHEET
A1.1

KEYNOTES

- | NO. | DESCRIPTION |
|-----|---|
| 01 | LINE OF EXISTING BUILDINGS |
| 02 | (E) ADA COMPLIANT 8' CONCRETE WALKWAY |
| 03 | NEW 10' LANDSCAPE BUFFER- SEE LANDSCAPE DWGS. |
| 04 | (E) CHAIN LINK GATE- PROVIDE FIRE DEPT. APPROVED KNOX-BOX |
| 05 | BUILDING SETBACK PER LFMC |
| 06 | CL OF EXISTING EASEMENT FOR PRIVATE DRIVE |
| 07 | (E) 8' HIGH STEEL TUBE GATE W/ PERFORATED MESH TO REMAIN. GATE AND MESH TO BE REPAINTED BLACK. GATE TO BE PROVIDED W/ FIRE DEPT. APPROVED KNOX-BOX. GATE TO REMAIN OPEN DURING BUSINESS HOURS PER OWNER'S REQUIREMENTS- SEE B/A1.2 FOR MORE DETAILS |
| 08 | NEW 6' HIGH TUBE STEEL GATE- PROVIDE FIRE DEPT. APPROVED KNOX-BOX |
| 09 | (E) ASPHALT DRIVE TO REMAIN - REPAIR AS NEC. |
| 10 | (E) LANDSCAPE- MODIFY AS MAY BE NECESSARY |
| 11 | (E) FIRE HYDRANT |
| 12 | (E) SERRANO CREEK TRAIL |
| 13 | FIRE DEPT. HAMMERHEAD TURN AROUND TEMPLATE |
| 14 | NEW CONCRETE DRIVEWAY PER CITY STANDARDS- SEE CIVIL DWGS. |
| 15 | NEW PARKING STALLS FOR EMPLOYEES AND VISITORS- SAWTOOTH EDGE @ CONCRETE CURB ALONG STREET. ONE WAY DRIVE AISLE- SEE 14/A1.4 |
| 16 | NEW 6' HIGH TRASH ENCLOSURE PER CITY STANDARDS W/ 10' CONCRETE APRON |
| 17 | UNDERGROUND DETENTION BASIN- SEE CIVIL DWGS. |
| 18 | NEW PAVING/SURFACING IN COMPLIANCE W/ LFMC SECTION 9.168.030 PARKING AND CIRCULATION AREA |
| 19 | (E) POWER POLE |
| 20 | (E) TREE TRUNK- PROTECT IN PLACE |
| 21 | (E) TOP OF SLOPE |
| 22 | NEW BIOSWALE- SEE CIVIL DWGS. |
| 23 | REPOSITION (E) 8'x20'x8' STEEL CONTAINER ON APPROVED PAVING/SURFACING- PAINT CONTAINER. (4) CONTAINERS TO BE USED FOR ON-SITE STORAGE ONLY |
| 24 | LINE OF DISTURBED AREA LIMIT |
| 25 | BENDER BOARD BORDER- SEE LANDSCAPE DWGS. |
| 26 | NEW FIRE HYDRANT PER FIRE MASTER PLAN- FINAL LOCATION TBD BY OCFA |
| 27 | ACCESSIBLE PARKING STALL W/ LOADING ZONES PER CODE 0/ ASPHALT PAVING- SEE 01/A1.4 |
| 28 | NEW CONCRETE SLOPED WALK WAY FOR ADA ACCESS- MAX. 2% CROSS SLOPE AND 5% SLOPE IN DIRECTION OF TRAVEL |
| 29 | NEW LANDSCAPED AREA- SEE LANDSCAPE DWGS. |
| 30 | (E) STAIR, MODIFY LANDING TO EXIT TO SOUTH |
| 31 | (E) 400 S.F. SHOP BUILDING- TO BE USED AS A WORK SHOP FOR VARIOUS SITE RELATED PROJECTS. |
| 32 | TRUNCATED DOMES PER CODE- SEE 20.25,27/A4.1 |
| 33 | CODE COMPLIANT ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE STALL TO EACH OFFICE ENTRY |
| 34 | CODE COMPLIANT ACCESSIBLE PATH- ASPHALT SECTION TO MEET 11B-205.1 |
| 35 | PROPOSED NEW WOOD CHIPPING AREA ~3,800 S.F. |
| 36 | ADA COMPLIANT FLUSH ASPHALT PATH ACROSS DRIVE AISLE- SEE CIVIL DWGS. |
| 37 | NEW CONCRETE RETAINING WALL- SEE CIVIL DWGS. |
| 38 | NEW MOVEABLE STACKED CONCRETE BLOCK WALL TO CREATE BARRIER FOR NEW WOOD CHIPPING AREA- SEE DETAIL 'B' FOR ELEVATION & END CONDITION |
| 39 | NEW 6' HIGH TUBE STEEL FENCE |
| 40 | (E) CHAIN LINK FENCE ON CMU BASE- PIP. |
| 41 | (E) PUBLIC LANDSCAPE AREA- PIP. |
| 42 | (E) CONCRETE CURB PER CITY STANDARDS- PIP. |

LEGEND

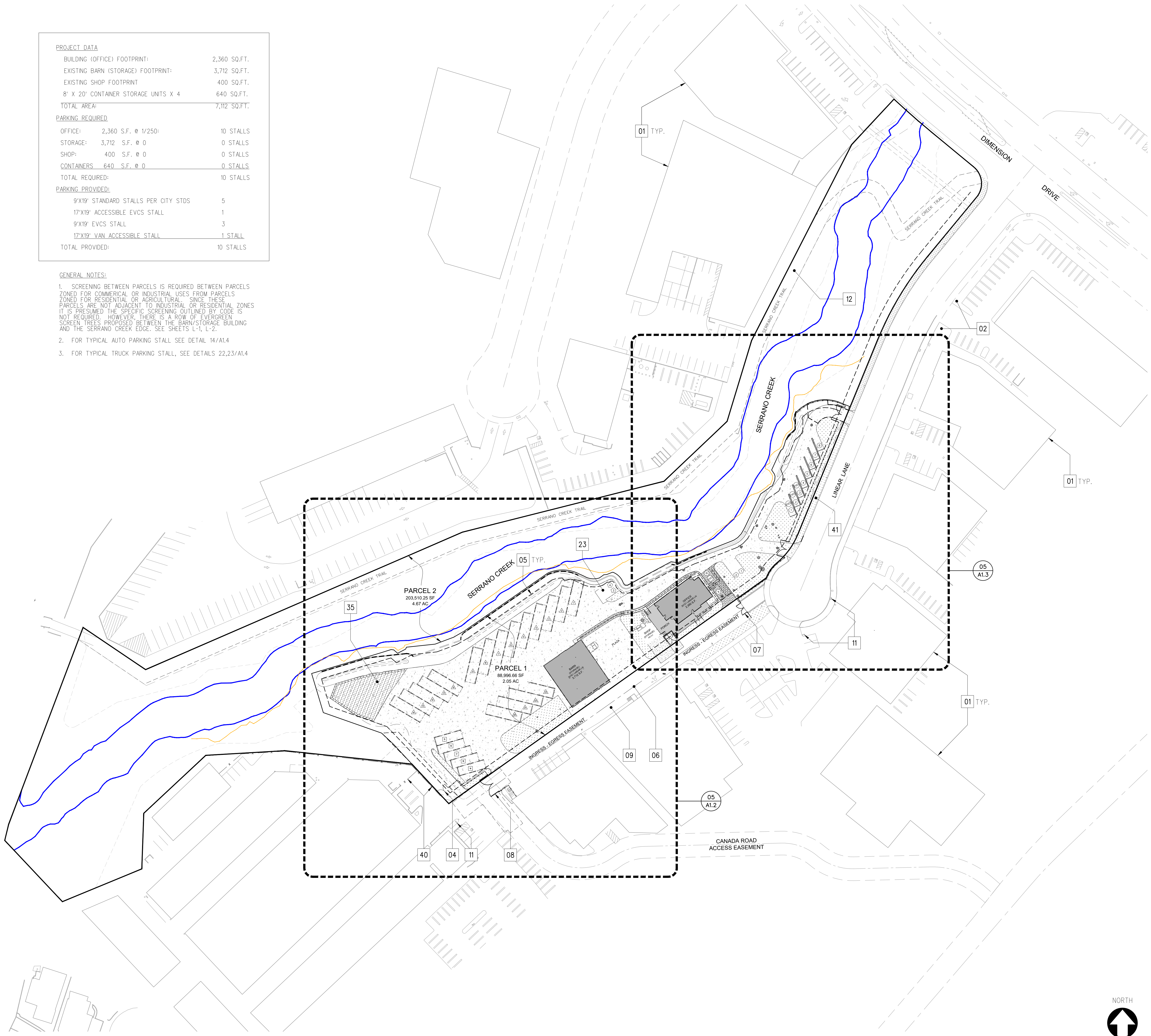
- PROPERTY LINE
- 10'-0" SETBACK
- ADA COMPLIANT VAN ACCESSIBLE PARKING SPACE AND LOADING ZONE - (1) 17' X 19'
- AUTOMOBILES STANDARD STALLS - (8) 9' X 19'
- PARKING FOR EXTEND CAB PICKUP TRUCK W/ CHIPPER OR BUCKET TRUCK WITH ARROW BOARD - (18) 45' X 13'
- PARKING FOR EXTEND CAB PICKUP TRUCK W/ARROW BOARD - (5) 35' X 11'
- EXISTING CONTAINER ON APPROVED PAVING/SURFACING - (4) 8'x20'x8'
- LANDSCAPE - SEE LANDSCAPE PLANS
- CONCRETE PAVEMENT:
5" THICK SLAB AT TRASH ENCLOSURE APRON
4" THICK SLAB AT WALKWAYS, RAMPS, AND WOOD CHIPPING AREA
- ASPHALT SURFACE:
SECTION PER SOIL ENGINEER RECOMMENDATIONS
- APPROVED DRIVEABLE SURFACE:
1 1/2" DIAMETER WITH PERMEABLE STEEL MATS
LOCATED AT ALL TRUCK TURNING AREAS
- PROPOSED WOOD CHIPPING AREA: ~3,800 S.F.
AREA DESIGNATED FOR WOOD CHIPPING W/
CONCRETE FLOOR BASE & MOVEABLE STACKED
CONCRETE BLOCK BARRIER WALL AT BORDER



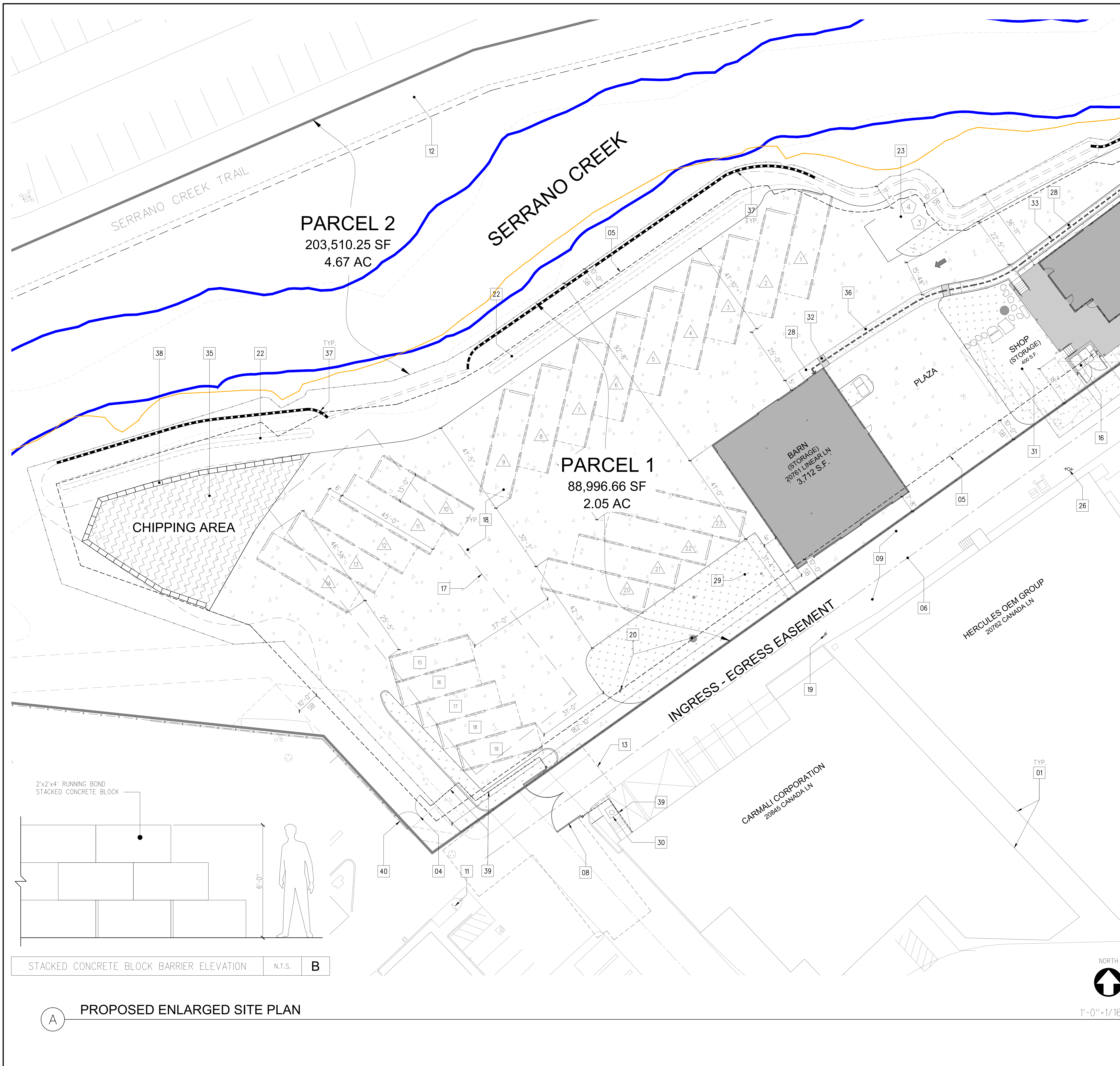
PROJECT DATA	
BUILDING (OFFICE) FOOTPRINT:	2,360 SQ.FT.
EXISTING BARN (STORAGE) FOOTPRINT:	3,712 SQ.FT.
EXISTING SHOP FOOTPRINT:	400 SQ.FT.
8' X 20' CONTAINER STORAGE UNITS X 4:	640 SQ.FT.
TOTAL AREA:	7,112 SQ.FT.
PARKING REQUIRED:	
OFFICE: 2,360 S.F. @ 1/250:	10 STALLS
STORAGE: 3,712 S.F. @ 0:	0 STALLS
SHOP: 400 S.F. @ 0:	0 STALLS
CONTAINERS: 640 S.F. @ 0:	0 STALLS
TOTAL REQUIRED:	10 STALLS
PARKING PROVIDED:	
9'X19' STANDARD STALLS PER CITY STDS:	5
17'X19' ACCESSIBLE EVCS STALL:	1
9'X19' EVCS STALL:	3
17'X19' VAN ACCESSIBLE STALL:	1 STALL
TOTAL PROVIDED:	10 STALLS

GENERAL NOTES:

- SCREENING BETWEEN PARCELS IS REQUIRED BETWEEN PARCELS ZONED FOR COMMERCIAL OR INDUSTRIAL USES FROM PARCELS ZONED FOR RESIDENTIAL OR AGRICULTURAL. SINCE THESE PARCELS ARE NOT ADJACENT TO INDUSTRIAL OR RESIDENTIAL ZONES IT IS PRESUMED THE SPECIFIC SCREENING OUTLINED BY CODE IS NOT REQUIRED. HOWEVER, THERE IS A ROW OF EVERGREEN SCREEN TREES PROPOSED BETWEEN THE BARN/STORAGE BUILDING AND THE SERRANO CREEK EDGE. SEE SHEETS L-1, L-2.
- FOR TYPICAL AUTO PARKING STALL SEE DETAIL 14/A1.4
- FOR TYPICAL TRUCK PARKING STALL, SEE DETAILS 22,23/A1.4



PROPOSED SITE PLAN

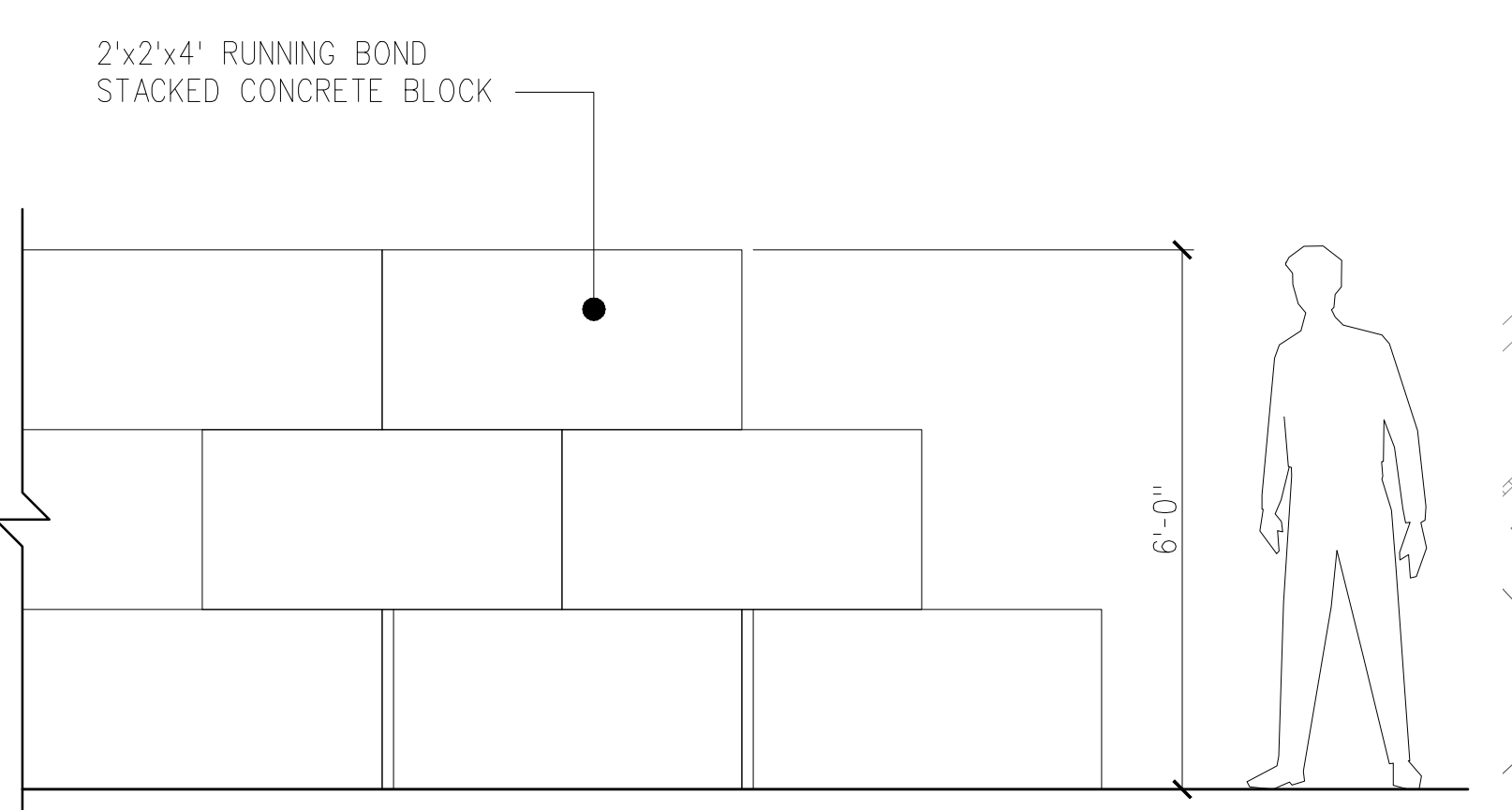


KEYNOTES

- | NO. | DESCRIPTION |
|-----|---|
| 01 | LINE OF EXISTING BUILDINGS |
| 02 | (E) ADA COMPLIANT 8' CONCRETE WALKWAY |
| 03 | NEW 10' LANDSCAPE BUFFER- SEE LANDSCAPE DWGS. |
| 04 | (E) CHAIN LINK GATE- PROVIDE FIRE DEPT. APPROVED KNOX-BOX |
| 05 | BUILDING SETBACK PER LPMC |
| 06 | CL OF EXISTING EASEMENT FOR PRIVATE DRIVE |
| 07 | (E) 8' HIGH STEEL TUBE GATE W/ PERFORATED MESH TO REMAIN. GATE AND MESH TO BE REPAINTED BLACK. GATE TO BE PROVIDED W/ FIRE DEPT. APPROVED KNOX-BOX. GATE TO REMAIN OPEN DURING BUSINESS HOURS PER OWNER'S REQUIREMENTS- SEE B/A1.2 FOR MORE DETAILS |
| 08 | NEW 6' HIGH TUBE STEEL GATE- PROVIDE FIRE DEPT. APPROVED KNOX-BOX |
| 09 | (E) ASPHALT DRIVE TO REMAIN - REPAIR AS NEC. |
| 10 | (E) LANDSCAPE- MODIFY AS MAY BE NECESSARY |
| 11 | (E) FIRE HYDRANT |
| 12 | (E) SERRANO CREEK TRAIL |
| 13 | FIRE DEPT. HAMMERHEAD TURN AROUND TEMPLATE |
| 14 | NEW CONCRETE DRIVEWAY PER CITY STANDARDS- SEE CIVIL DWGS. |
| 15 | NEW PARKING STALLS FOR EMPLOYEES AND VISITORS- SAWTOOTH EDGE @ CONCRETE CURB ALONG STREET. ONE WAY DRIVE AISLE- SEE 14/A1.4 |
| 16 | NEW 6' HIGH TRASH ENCLOSURE PER CITY STANDARDS W/ 10' CONCRETE APRON |
| 17 | UNDERGROUND DETENTION BASIN- SEE CIVIL DWGS. |
| 18 | NEW PAVING/SURFACING IN COMPLIANCE W/ LPMC SECTION 9.168.030 PARKING AND CIRCULATION AREA |
| 19 | (E) POWER POLE |
| 20 | (E) TREE TRUNK- PROTECT IN PLACE |
| 21 | (E) TOP OF SLOPE |
| 22 | NEW BIOSWALE- SEE CIVIL DWGS. |
| 23 | REPOSITION (E) 8'x20'x8' STEEL CONTAINER ON APPROVED PAVING/SURFACING- PAINT CONTAINER. (4) CONTAINERS TO BE USED FOR ON-SITE STORAGE ONLY |
| 24 | LINE OF DISTURBED AREA LIMIT |
| 25 | BENDER BOARD BORDER- SEE LANDSCAPE DWGS. |
| 26 | NEW FIRE HYDRANT PER FIRE MASTER PLAN- FINAL LOCATION TBD BY OCPA |
| 27 | ACCESSIBLE PARKING STALL W/ LOADING ZONES PER CODE 07 ASPHALT PAVING- SEE 01/A1.4 |
| 28 | NEW CONCRETE SLOPED WALK WAY FOR ADA ACCESS- MAX. 2% CROSS SLOPE AND 5% SLOPE IN DIRECTION OF TRAVEL |
| 29 | NEW LANDSCAPED AREA- SEE LANDSCAPE DWGS. |
| 30 | (E) STAIR, MODIFY LANDING TO EXIT TO SOUTH |
| 31 | (E) 400 S.F. SHOP BUILDING- TO BE USED AS A WORK SHOP FOR VARIOUS SITE RELATED PROJECTS. |
| 32 | TRUNCATED DOMES PER CODE- SEE 20.25,27/A4.1 |
| 33 | CODE COMPLIANT ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE STALL TO EACH OFFICE ENTRY |
| 34 | CODE COMPLIANT ACCESSIBLE PATH- ASPHALT SECTION TO MEET 11B-205.1 |
| 35 | PROPOSED NEW WOOD CHIPPING AREA ~3,800 S.F. |
| 36 | ADA COMPLIANT FLUSH ASPHALT PATH ACROSS DRIVE AISLE- SEE CIVIL DWGS. |
| 37 | NEW CONCRETE RETAINING WALL- SEE CIVIL DWGS. |
| 38 | NEW MOVEABLE STACKED CONCRETE BLOCK WALL TO CREATE BARRIER FOR NEW WOOD CHIPPING AREA- SEE DETAIL 'B' FOR ELEVATION & END CONDITION |
| 39 | NEW 6' HIGH TUBE STEEL FENCE |
| 40 | (E) CHAIN LINK FENCE ON CMU BASE- PIP. |
| 41 | (E) PUBLIC LANDSCAPE AREA- PIP. |
| 42 | (E) CONCRETE CURB PER CITY STANDARDS- PIP. |

LEGEND

- | | | |
|--|---|---------------------|
| | PROPERTY LINE | |
| | 10'-0" SETBACK | |
| | ADA COMPLIANT VAN ACCESSIBLE PARKING SPACE AND LOADING ZONE | (1) 17' X 19' |
| | AUTOMOBILES STANDARD STALLS | (8) 9' X 19' |
| | PARKING FOR EXTEND CAB PICKUP TRUCK W/ CHIPPER OR BUCKET TRUCK WITH ARROW BOARD | (18) 45' X 13' |
| | PARKING FOR EXTEND CAB PICKUP TRUCK W/ARROW BOARD | (5) 35' X 11' |
| | EXISTING CONTAINER ON APPROVED PAVING/SURFACING | (4) 8'x20'x8' |
| | LANDSCAPE | SEE LANDSCAPE PLANS |
| | CONCRETE PAVEMENT: | |
| | 5" THICK SLAB AT TRASH ENCLOSURE APRON | |
| | 4" THICK SLAB AT WALKWAYS, RAMPS, AND WOOD CHIPPING AREA | |
| | ASPHALT SURFACE: | |
| | SECTION PER SOIL ENGINEER RECOMMENDATIONS | |
| | APPROVED DRIVEABLE SURFACE: | |
| | 1 1/2" DIAMETER WITH PERMEABLE STEEL MATS | |
| | LOCATED AT ALL TRUCK TURNING AREAS | |
| | PROPOSED WOOD CHIPPING AREA: | ~3,800 S.F. |
| | AREA DESIGNATED FOR WOOD CHIPPING W/ CONCRETE FLOOR BASE & MOVEABLE STACKED CONCRETE BLOCK BARRIER WALL AT BORDER | |



STACKED CONCRETE BLOCK BARRIER ELEVATION N.T.S. B

PROPOSED ENLARGED SITE PLAN

1'-0"=1/16" NORTH

BUNDY-FINKEL Architects
 1120 BRISTOL STREET STE 120
 COSTA MESA CA 92626
 TEL 714-850-7575
 FAX 714-850-7576

STAMP

PROJECT NAME:
GREAT SCOTT TREE CARE
 20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

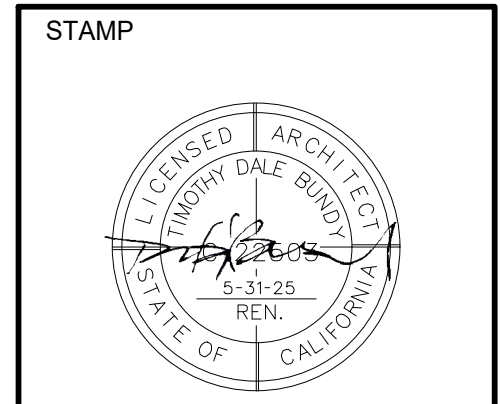
SHEET TITLE
ENLARGED SITE PLAN

PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

USE PERMIT PLANNING RE-SUBMITTAL 10-02-23
 USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
 USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
 USE PERMIT PLANNING RE-SUBMITTAL 03-28-24
 USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808 A1.2 ESP.dwg

SHEET
A1.2



PROJECT NAME:
GREAT SCOTT TREE CARE
 20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

SHEET TITLE
ENLARGED SITE PLAN

NOTES: THE DESIGN SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS AND SCHEDULES, ARE PROPRIETARY AND SHALL NOT BE COPIED, REPRODUCED, REUSED OR COMMERCIALLY EXPLOITED IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND PRACTICES OF THE ARCHITECTURE AND LANDSCAPE ARCHITECTURE BOARDS OF CALIFORNIA. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THE INFORMATION AND DATA NOT RECORDED OR DISSEMINATED BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS AND THE INFORMATION OF THE ARCHITECTURE AND LANDSCAPE ARCHITECTURE BOARDS OF CALIFORNIA. THE ARCHITECT, CONTRACTORS, SUPPLYING AGENCIES, VENDORS, AND OTHER PERSONNEL, ONLY IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND PRACTICES OF THE ARCHITECTURE AND LANDSCAPE ARCHITECTURE BOARDS OF CALIFORNIA. ALL RIGHTS RESERVED. © COPYRIGHT, BUNDY-FINKEL ARCHITECTS, 2024

PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

USE PERMIT PLANNING SUBMITTAL 10-02-23
 USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
 USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
 USE PERMIT PLANNING RE-SUBMITTAL 03-22-24
 USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808 AL.3 ESP.dwg

SHEET
A1.3

KEYNOTES

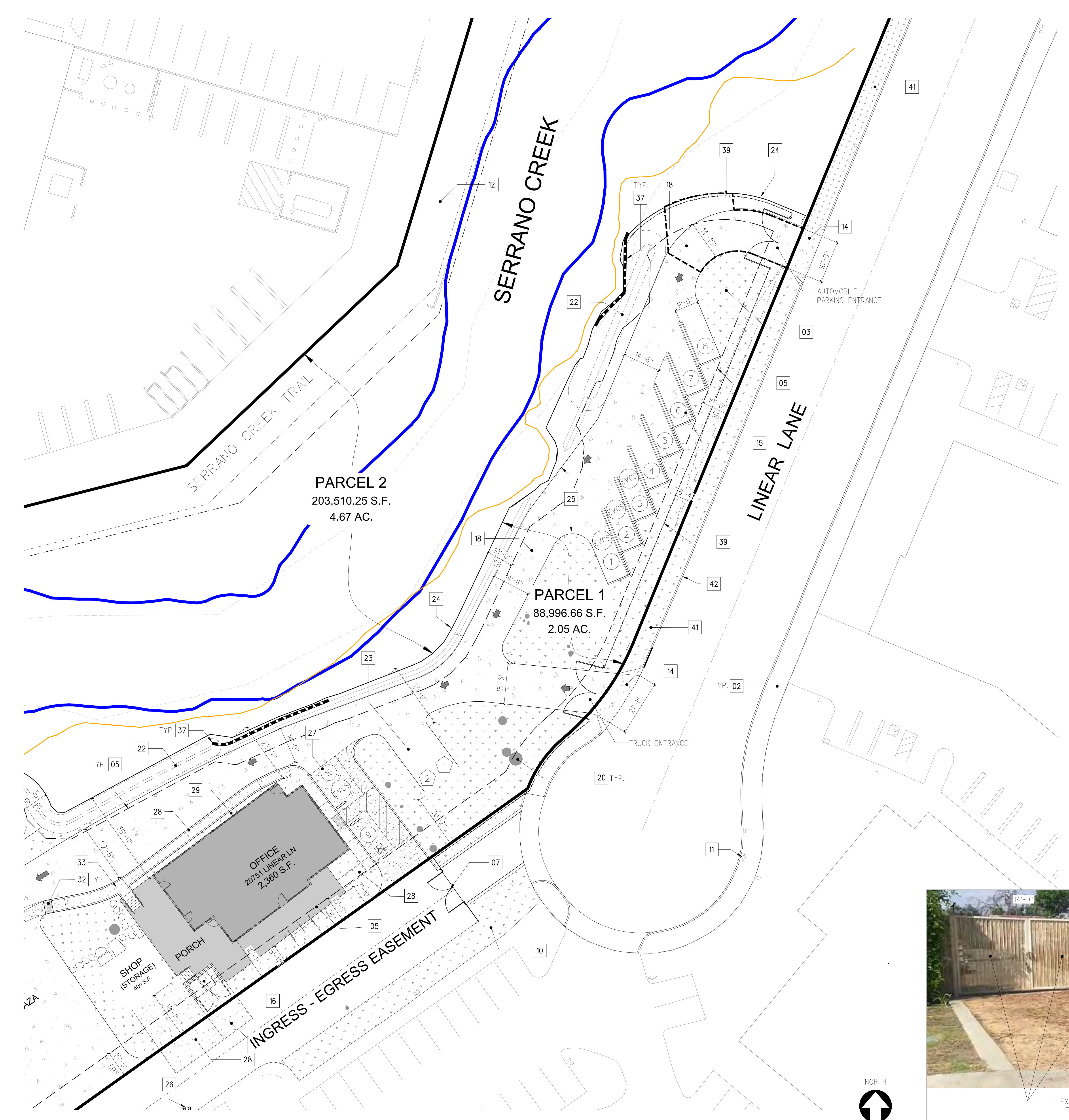
- 01 LINE OF EXISTING BUILDINGS
- 02 (E) ADA COMPLIANT 8' CONCRETE WALKWAY
- 03 NEW 10' LANDSCAPE BUFFER- SEE LANDSCAPE DWGS.
- 04 (E) CHAIN LINK GATE- PROVIDE FIRE DEPT. APPROVED KNOX-BOX
- 05 BUILDING SETBACK PER LFMC
- 06 CL OF EXISTING EASEMENT FOR PRIVATE DRIVE
- 07 (E) 8' HIGH STEEL TUBE GATE W/ PERFORATED MESH TO REMAIN. GATE AND MESH TO BE REPAINTED BLACK. GATE TO BE PROVIDED W/ FIRE DEPT. APPROVED KNOX-BOX. GATE TO REMAIN OPEN DURING BUSINESS HOURS PER OWNER'S REQUIREMENTS- SEE B/A1.2 FOR MORE DETAILS
- 08 NEW 6' HIGH TUBE STEEL GATE- PROVIDE FIRE DEPT. APPROVED KNOX-BOX
- 09 (E) ASPHALT DRIVE TO REMAIN - REPAIR AS NEC.
- 10 (E) LANDSCAPE- MODIFY AS MAY BE NECESSARY
- 11 (E) FIRE HYDRANT
- 12 (E) SERRANO CREEK TRAIL
- 13 FIRE DEPT. HAMMERHEAD TURN AROUND TEMPLATE
- 14 NEW CONCRETE DRIVEWAY PER CITY STANDARDS- SEE CIVIL DWGS.
- 15 NEW PARKING STALLS FOR EMPLOYEES AND VISITORS- SAWTOOTH EDGE @ CONCRETE CURB ALONG STREET. ONE WAY DRIVE AISLE- SEE 14/A1.4
- 16 NEW 6' HIGH TRASH ENCLOSURE PER CITY STANDARDS W/ 10' CONCRETE APRON
- 17 UNDERGROUND DETENTION BASIN- SEE CIVIL DWGS.
- 18 NEW PAVING/SURFACING IN COMPLIANCE W/ LFMC SECTION 9.168.030 PARKING AND CIRCULATION AREA
- 19 (E) POWER POLE
- 20 (E) TREE TRUNK- PROTECT IN PLACE
- 21 (E) TOP OF SLOPE
- 22 NEW BIOSWALE- SEE CIVIL DWGS.
- 23 REPOSITION (E) 8'x20'x8' STEEL CONTAINER ON APPROVED PAVING/SURFACING- PAINT CONTAINER. (4) CONTAINERS TO BE USED FOR ON-SITE STORAGE ONLY
- 24 LINE OF DISTURBED AREA LIMIT
- 25 BENDER BOARD BORDER- SEE LANDSCAPE DWGS.
- 26 NEW FIRE HYDRANT PER FIRE MASTER PLAN- FINAL LOCATION TBD BY OCFD
- 27 ACCESSIBLE PARKING STALL W/ LOADING ZONES PER CODE 07 ASPHALT PAVING- SEE 01/A1.4
- 28 NEW CONCRETE SLOPED WALK WAY FOR ADA ACCESS- MAX. 2% CROSS SLOPE AND 5% SLOPE IN DIRECTION OF TRAVEL
- 29 NEW LANDSCAPED AREA- SEE LANDSCAPE DWGS.
- 30 (E) STAIR, MODIFY LANDING TO EXIT TO SOUTH
- 31 (E) 400 S.F. SHOP BUILDING- TO BE USED AS A WORK SHOP FOR VARIOUS SITE RELATED PROJECTS.
- 32 TRUNCATED DOMES PER CODE- SEE 20.25,27/A4.1
- 33 CODE COMPLIANT ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE STALL TO EACH OFFICE ENTRY
- 34 CODE COMPLIANT ACCESSIBLE PATH- ASPHALT SECTION TO MEET 11B-205.1
- 35 PROPOSED NEW WOOD CHIPPING AREA ~3,800 S.F.
- 36 ADA COMPLIANT FLUSH ASPHALT PATH ACROSS DRIVE AISLE- SEE CIVIL DWGS.
- 37 NEW CONCRETE RETAINING WALL- SEE CIVIL DWGS.
- 38 NEW MOVEABLE STACKED CONCRETE BLOCK WALL TO CREATE BARRIER FOR NEW WOOD CHIPPING AREA- SEE DETAIL 'B' FOR ELEVATION & END CONDITION
- 39 NEW 6' HIGH TUBE STEEL FENCE
- 40 (E) CHAIN LINK FENCE ON CMU BASE- PIP.
- 41 (E) PUBLIC LANDSCAPE AREA- PIP.
- 42 (E) CONCRETE CURB PER CITY STANDARDS- PIP.

LEGEND

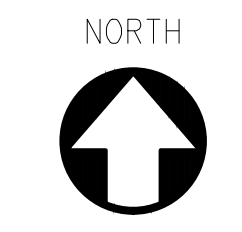
- PROPERTY LINE
- 10'-0" SETBACK
- ADA COMPLIANT VAN ACCESSIBLE PARKING SPACE AND LOADING ZONE - (1) 17' X 19'
- 1 AUTOMOBILES STANDARD STALLS - (8) 9' X 19'
- 1 PARKING FOR EXTEND CAB PICKUP TRUCK W/ CHIPPER OR BUCKET TRUCK WITH ARROW BOARD - (18) 45' X 13'
- 1 PARKING FOR EXTEND CAB PICKUP TRUCK W/ARROW BOARD - (5) 35' X 11'
- 1 EXISTING CONTAINER ON APPROVED PAVING/SURFACING - (4) 8'x20'x8'
- LANDSCAPE - SEE LANDSCAPE PLANS
- CONCRETE PAVEMENT:
5" THICK SLAB AT TRASH ENCLOSURE APRON
4" THICK SLAB AT WALKWAYS, RAMPS, AND WOOD CHIPPING AREA
- ASPHALT SURFACE:
SECTION PER SOIL ENGINEER RECOMMENDATIONS
- APPROVED DRIVEABLE SURFACE:
1 1/2" DIAMETER WITH PERMEABLE STEEL MATS LOCATED AT ALL TRUCK TURNING AREAS
- EXISTING 8' SWING GATE & FENCE N.T.S. B
- PROPOSED WOOD CHIPPING AREA: ~3,800 S.F. AREA DESIGNATED FOR WOOD CHIPPING W/ CONCRETE FLOOR BASE & MOVEABLE STACKED CONCRETE BLOCK BARRIER WALL AT BORDER



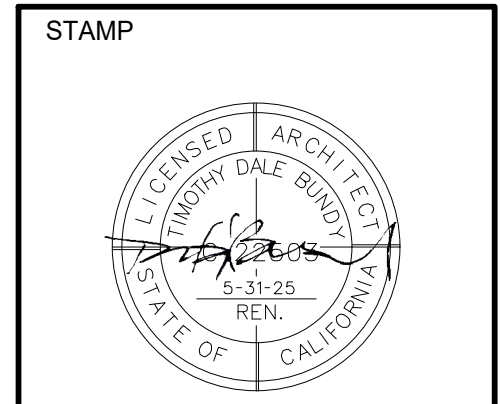
EXISTING 8' SWING GATE & FENCE N.T.S. B



PROPOSED ENLARGED SITE PLAN



1"=0"=1/16"



PROJECT NAME:

GREAT SCOTT TREE CARE

20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

SHEET TITLE

SITE PLAN DETAILS

NOTE: THE DESIGNS SHOWN AND DESCRIBED HEREIN, BY EITHER ALL TECHNICAL DRAWING CONTRACTORS AND/OR ARCHITECTS ARE PROPRIETARY AND SHALL NOT BE COPIED, REPRODUCED, REUSED OR COMMERCIALIZED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH THE CODES AND REGULATIONS IN EFFECT AT THE TIME OF DESIGN. ANY DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS THEREIN SHALL BE THE RESPONSIBILITY OF THE ARCHITECT AND ARCHITECTS. CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

PROJECT NO.: 23-808

LAST ISSUE DATE: 10-02-23

BY: JA CHKD: TB

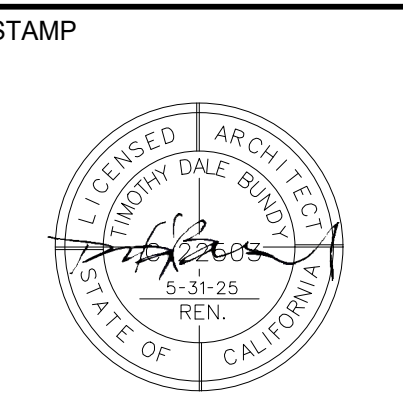
- USE PERMIT PLANNING SUBMITTAL 10-02-23
- USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
- USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
- USE PERMIT PLANNING RE-SUBMITTAL 03-22-24
- USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808 AL4 SP DTLS.dwg

SHEET

A1.4

	<p>DOUBLE STEEL FENCE GATE</p> <p>1/4"-1'-0" 16</p>		<p>EXT. STAIR-TYPICAL MARKING STRIP</p> <p>3/4"-1'-0" 11</p>		<p>ACCESSIBLE CURB RAMP</p> <p>1/2"-1'-0" 06</p>		<p>ACCESSIBLE PARKING</p> <p>1/2"-1'-0" 01</p>
	<p>13'x45' TYP. TRUCK STALL</p> <p>3/8"-1'-0" 22</p>		<p>CHAIN LINK FENCE</p> <p>1/2"-1'-0" 17</p>		<p>ACCESSIBLE ROUTE CROSSWALK</p> <p>NOT TO SCALE 12</p>		<p>ACCESSIBLE CURB RAMP</p> <p>1/2"-1'-0" 07</p>
	<p>11'x35' TYP. TRUCK STALL</p> <p>3/8"-1'-0" 23</p>		<p>FENCE FOOTING</p> <p>1/2"-1'-0" 18</p>		<p>WHEEL STOP</p> <p>3/4"-1'-0" 13</p>		<p>TRASH ENCLOSURE</p> <p>1/2"-1'-0" 08</p>
	<p>ACCESSIBLE CURB RAMP</p> <p>1/2"-1'-0" 24</p>		<p>W.I. FENCE</p> <p>1/2"-1'-0" 19</p>		<p>TYPICAL PARKING STALL</p> <p>3/8"-1'-0" 14</p>		<p>TRUNCATED DOMES</p> <p>1'-1'-0" 09</p>
	<p>ACCES. DOUBLE-SIDED CURB RAMP</p> <p>1/2"-1'-0" 25</p>		<p>ACCESSIBLE CURB RAMP</p> <p>1/2"-1'-0" 20</p>		<p>HANDRAIL UPRIGHT</p> <p>1/2"-1'-0" 15</p>		<p>TRUNCATED DOMES</p> <p>3'-1'-0" 10</p>



PROJECT NAME:
GREAT SCOTT TREE CARE
 20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

SHEET TITLE
COLORED SITE PLAN

NOTES: THE DESIGN SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS AND MODEL IMAGES ARE PROPRIETARY AND SHALL NOT BE COPIED, REPRODUCED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND PRACTICES OF THE ARCHITECTURE AND ENGINEERING BOARD OF CALIFORNIA. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS AND THE SERVICES OF THE ARCHITECT ARE FOR GENERAL INFORMATION ONLY AND SHALL NOT BE USED FOR CONSTRUCTION. CONTRACTORS, CONSULTING AGENCIES, ENGINEERS AND OTHER PERSONNEL SHALL VERIFY DIMENSIONS AND SHALL NOT SCALE THE DRAWING IN ANY WAY. ALL RIGHTS RESERVED. © COPYRIGHT, BUNDY-FINKEL ARCHITECTS, 2024

PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

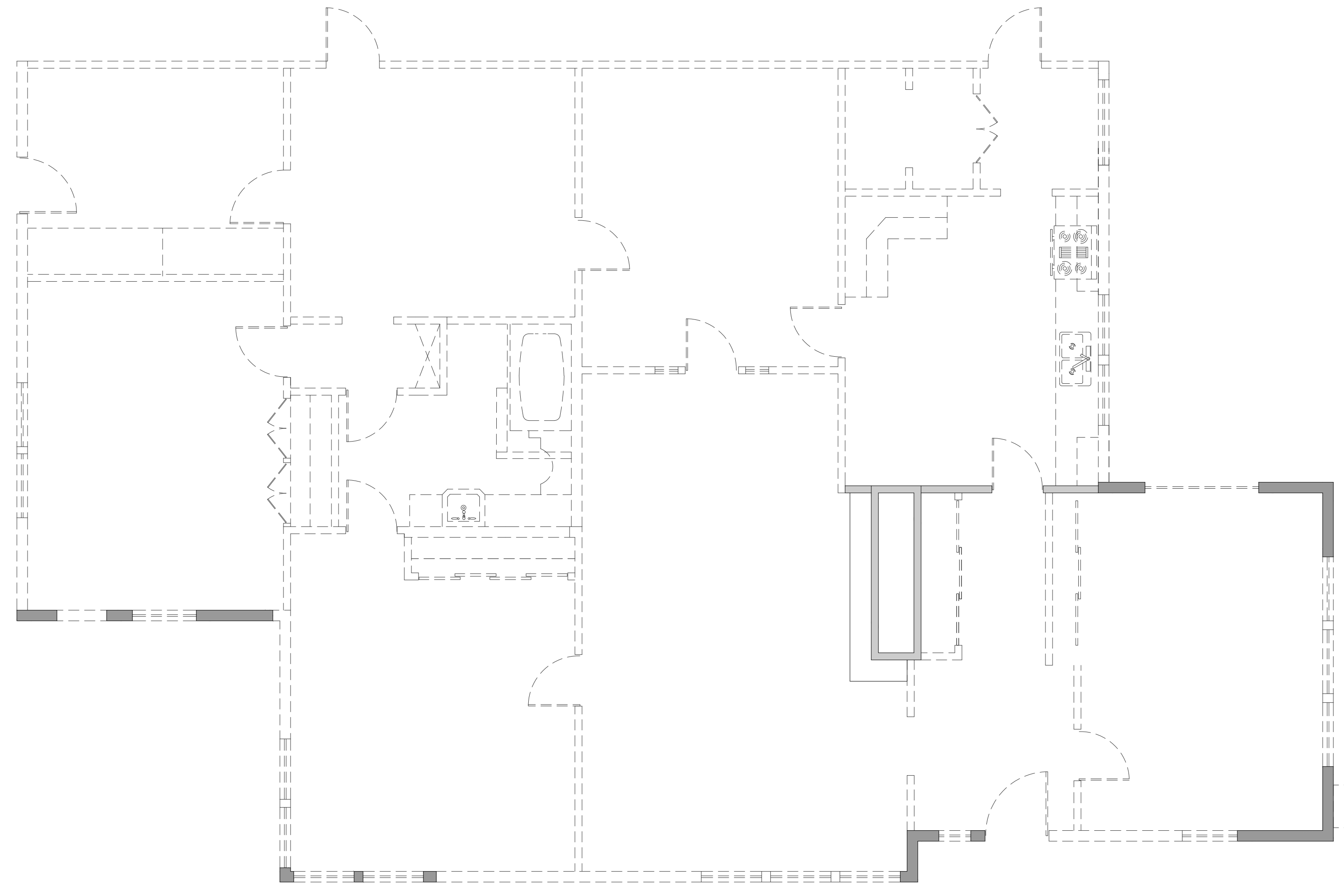
USE PERMIT PLANNING RE-SUBMITTAL 10-02-23
 USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
 USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
 USE PERMIT PLANNING RE-SUBMITTAL 03-22-24
 USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808_A1.5_SP_CLR.dwg

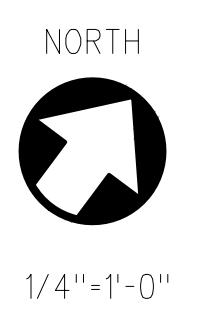
SHEET
A1.5



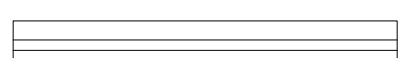


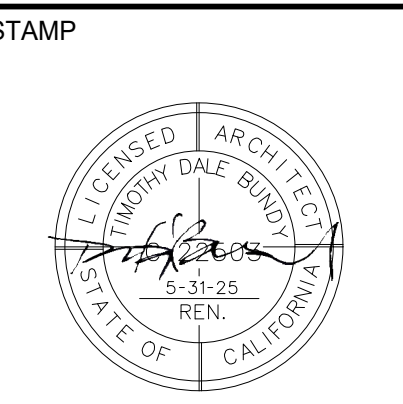
(A) PROPOSED SITE PLAN



A DEMO FLOOR PLAN



DEMO - FLOOR PLAN WALL LEGEND	
	EXISTING WOOD STUD WALL TO REMAIN
	DEMOLISH EXISTING STRUCTURE
	EXISTING WINDOW TO REMAIN IN PLACE



PROJECT NAME:
**GREAT SCOTT
 TREE CARE**
 20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

SHEET TITLE
**DEMO
 FLOOR PLAN**

NOTICE: THE DESIGN SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS AND MODEL IMAGES ARE PROPRIETARY AND SHALL NOT BE COPIED, REPRODUCED, REUSED OR COMMERCIALLY EXPLOITED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF ARCHITECTURE AND ENGINEERING CONTRACTORS. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS AND THE INFORMATION OF THE ARCHITECT AND ANY CONSULTANTS, CONTRACTORS, CONTRACTING AGENCIES, VENDORS AND OTHER PERSONNEL, ONLY IN ACCORDANCE WITH THE RULES. ADDITIONALLY, CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT SCALE THE DRAWING IN ANY MANNER.
 ALL RIGHTS RESERVED. © COPYRIGHT, BUNDY-FINKEL ARCHITECTS, 2024

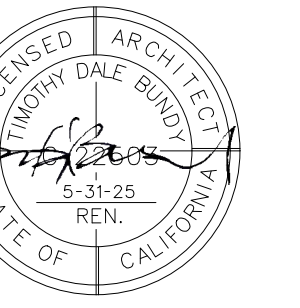
PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

- USE PERMIT PLANNING SUBMITTAL 10-02-23
- USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
- USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
- USE PERMIT PLANNING RE-SUBMITTAL 03-22-24
- USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808_A2_0_DEMO_FP_OWH.dwg

SHEET
A2.0

STAMP



PROJECT NAME:

GREAT SCOTT TREE CARE

20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

SHEET TITLE

OFFICE FLOOR PLAN

NOTE: THE DESIGN SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS AND SCHEDULES, ARE PROPRIETARY AND SHALL NOT BE COPIED, REPRODUCED, REUSED OR COMMERCIALIZED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF ARCHITECTURE OF THE STATE OF CALIFORNIA. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THE INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS AND THE INFORMATION OF THE ARCHITECT ARE FOR THE CONSTRUCTION OF THE PROJECT AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. THE CLIENT, CONTRACTOR, ENGINEER, ARCHITECT AND OTHER PERSONNEL SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS. CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT SCALE THE DRAWING IN ANY WAY.

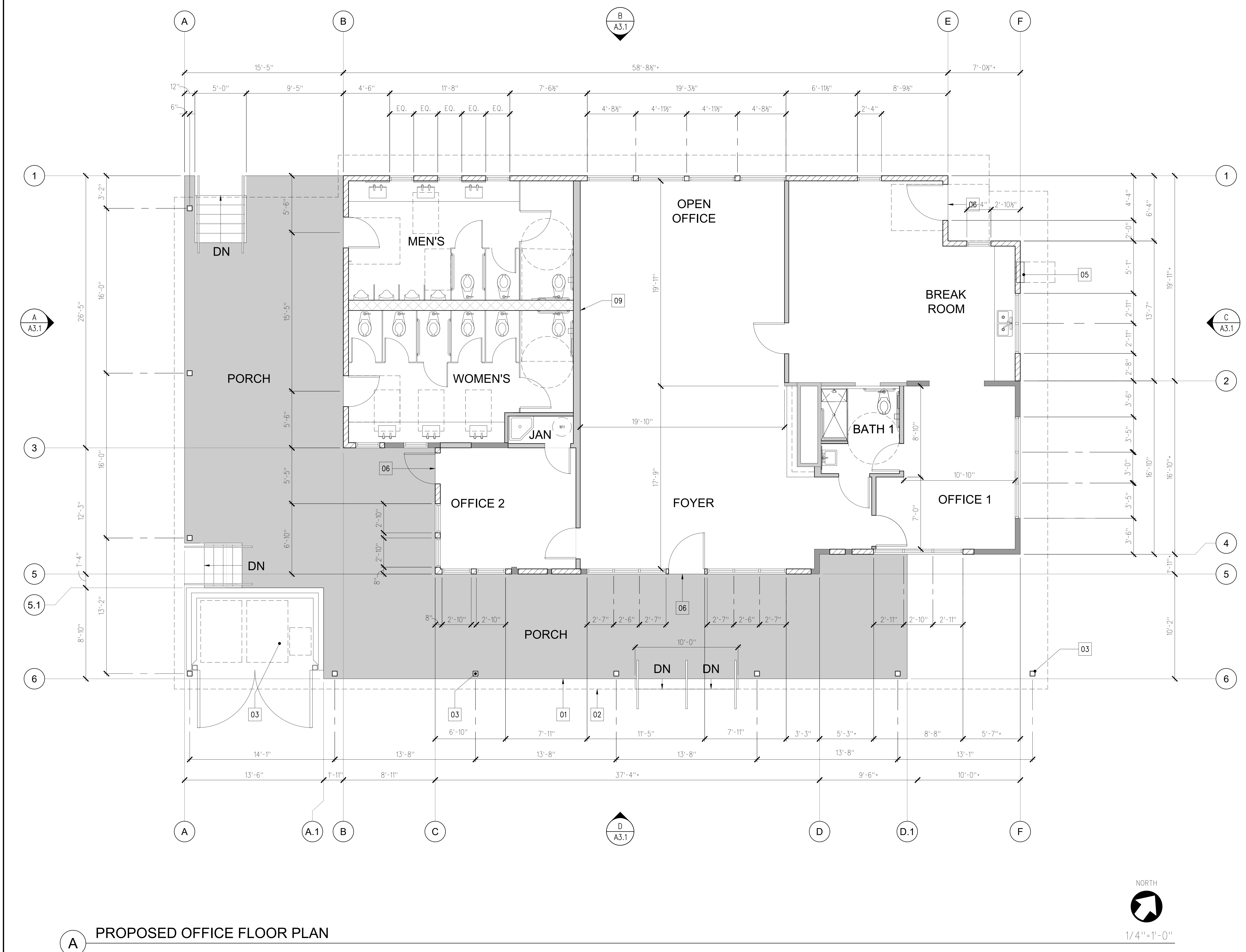
PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

USE PERMIT PLANNING RE-SUBMITTAL 10-02-23
 USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
 USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
 USE PERMIT PLANNING RE-SUBMITTAL 03-22-24
 USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808_A2.1_FP_DWH.dwg

SHEET

A2.1



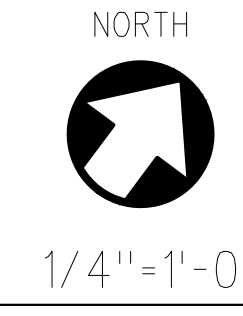
KEYNOTES

NO.	DESCRIPTION
01	LINE OF NEW PORCH
02	LINE OF ROOF OVERHANG ABOVE
03	NEW SUPPORT POST FOR ROOF
04	NEW TRASH ENCLOSURE- SEE SITE PLAN AND 08/A4.1
05	RELOCATED ELECTRICAL PANEL & REQUIRED CLEARANCE
06	NEW ADA CODE COMPLIANT DOOR AND THRESHOLD WITH MAX. GRADE DIFFERENCE OF 1/2".
07	EXISTING INTERIOR WALL
08	NEW EXTERIOR WALL
09	NEW INTERIOR WALL

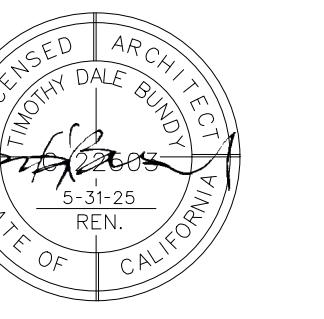
LEGEND

- EXISTING EXTERIOR WALL
- NEW NON-RATED EXTERIOR WALL: WOOD STUDS W/ PLYWOOD ON EXT. FACE (BATT INSULATION IN STUD CAVITY) & TYPE "X" GYP. BD. O/ PLYWOOD (PER STRUCTURAL DWGS.) ON INT. FACE (TAPED, SANDED & PAINTED). CLASS A RATED SIM WOOD SIDING VENEER ON EXT.
- FULL-HEIGHT INTERIOR WALL: 6" WOOD OR MTL STUDS @ 16" O.C. & 5/8" TYPE "X" GYP. BD. ON BOTH SIDES. FULL-HEIGHT TO UNDERSIDE STRUCTURE ABOVE (TAPED, SANDED & PAINTED) (BATT INSUL. IN STUD CAVITY).
- PARTIAL HEIGHT UTILITY WALL: STAGGERED 6" WOOD OR MTL STUDS @ 16" O.C. & 5/8" TYPE "X" GYP. BD. ON BOTH SIDES. (TAPED, SANDED & PAINTED)- WATER RESISTANT @ WET LOCATIONS) (BATT INSUL. IN STUD CAVITY).

A PROPOSED OFFICE FLOOR PLAN



STAMP



PROJECT NAME:

**GREAT SCOTT
 TREE CARE**

20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

KEYNOTES

NO.	DESCRIPTION
01	NEW CLASS A FIRE RATED ROOFING O/ NEW FRAMING
02	NEW CLASS A RATED STANDING SEAM METAL ROOF
03	EXISTING CHIMNEY TO REMAIN - PROTECT STRUCTURE IN PLACE. EXTEND SPARK ARRESTOR AS NEEDED BY CODE.
04	LINE OF EXTERIOR WALL BELOW
05	PORCH SUPPORT COLUMN BELOW

SHEET TITLE

**OFFICE
 ROOF PLAN**

NOTE: THE DESIGN SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS AND SCHEDULES, ARE PROPRIETARY AND SHALL NOT BE COPIED, REPRODUCED, REUSED OR COMMERCIALLY EXPLOITED IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS AND REGULATIONS. BUNDY-FINKEL ARCHITECTS DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THE INFORMATION AND DOES NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE PROPERTY OF BUNDY-FINKEL ARCHITECTS AND ARE TO BE USED ONLY FOR THE PROJECT AND ONLY BY THE LICENSED ARCHITECTS, CONTRACTORS, CONSULTING AGENCIES, VENDORS AND OTHER PERSONNEL ONLY IN ACCORDANCE WITH THE PROJECT. ADDITIONALLY, CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT SCALE THE DRAWING IN ANY WAY.

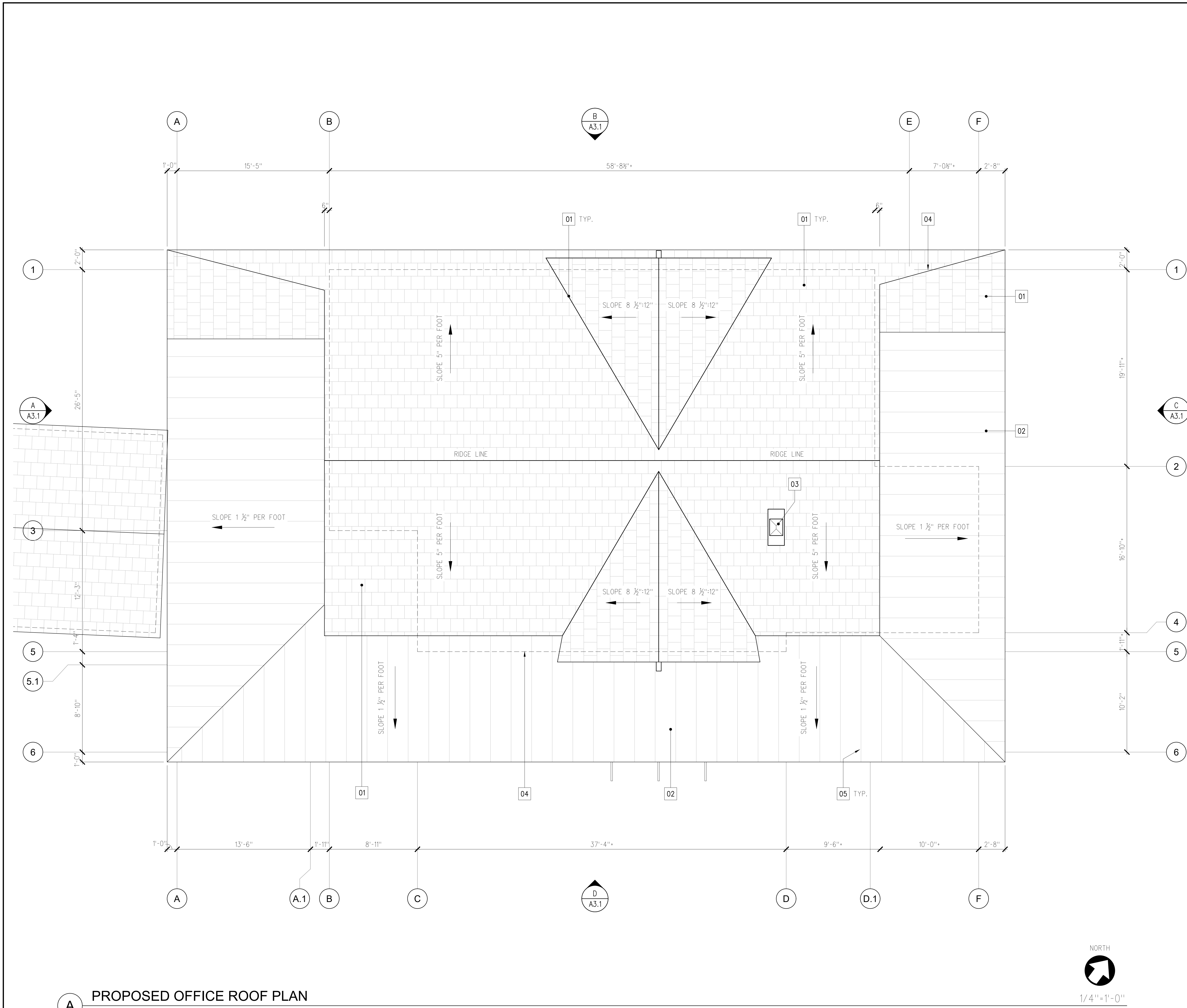
PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

USE PERMIT PLANNING SUBMITTAL 10-02-23
 USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
 USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
 USE PERMIT PLANNING RE-SUBMITTAL 03-22-24
 USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

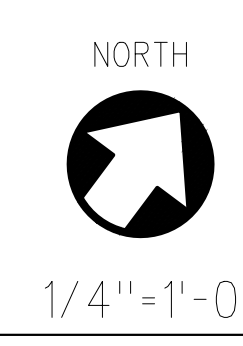
FILE: 808_A2.2_RP_OWH.dwg

SHEET

A2.2



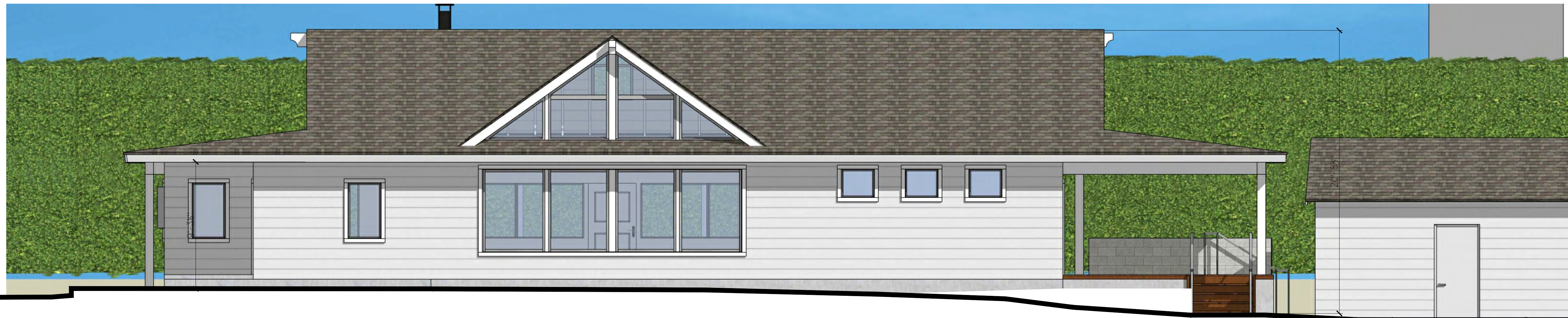
A PROPOSED OFFICE ROOF PLAN





A WEST ELEVATION

1/4"=1'-0"



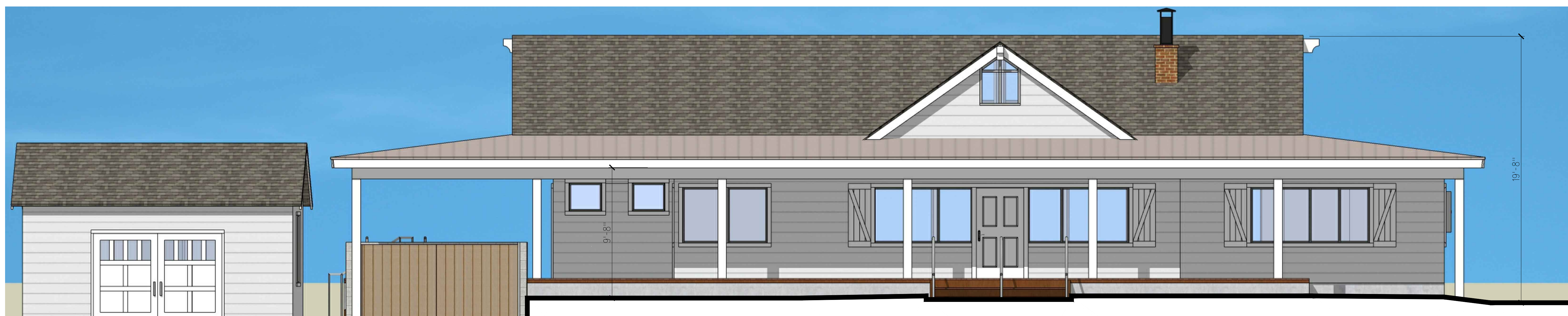
B NORTH ELEVATION

1/4"=1'-0"



C EAST ELEVATION

1/4"=1'-0"



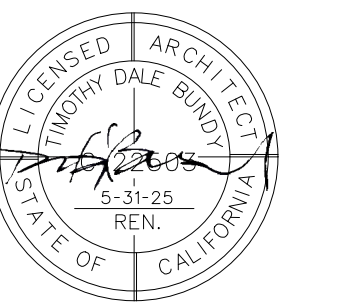
C SOUTH ELEVATION

1/4"=1'-0"

KEYNOTES

- | NO. | DESCRIPTION |
|-----|--|
| 1. | LINE OF NEW PORCH |
| 2. | LINE OF ROOF OVERHANG ABOVE |
| 3. | NEW SUPPORT POST FOR ROOF |
| 4. | NEW CMU TRASH ENCLOSURE WITH METAL GATES - SEE SITE PLAN AND 08/A4.1 |
| 5. | (E) ELECTRICAL METER AND REQ'D CLEARANCE |
| 6. | NEW RELOCATED 42" SIDE ENTRY DOOR |
| 7. | NEW ROOF - MEET CLASS A FIRE RATING |
| 8. | SIMULATED WOOD CLASS A RATED WOOD SIDING O/ EXISTING OR NEW FRAMING |
| 9. | EXISTING CHIMNEY - EXTEND AS NECESSARY TO MEET CODE AND PROVIDE NEW SPARK ARRESTOR |
| 10. | NEW DUAL GLAZED WINDOWS IN METAL FRAME |
| 11. | EXISTING GARAGE - RECLAD WITH NEW FIRE RATED SIMULATED WOOD SIDING |
| 12. | NEW CONCRETE STEPS WITH ADA COMPLIANT HANDRAILS - SEE 11/A4.1 |

STAMP



PROJECT NAME:

GREAT SCOTT TREE CARE

20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

SHEET TITLE

OFFICE EXTERIOR ELEVATIONS

NOTES: THE DESIGN SHOWN AND DESCRIBED HEREIN INCLUDES ALL TECHNICAL DRAWING CONVENTIONS AND NOTATION. THESE DOCUMENTS ARE THE PROPERTY OF BUNDY-FINKEL ARCHITECTS AND SHALL NOT BE LOANED, REPRODUCED, COPIED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF ARCHITECTS AND ENGINEERS OF THE STATE OF CALIFORNIA. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THE INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND ARE INTENDED FOR LIMITED USE AND CIRCULATION BY THE CLIENT, CONSULTANTS, CONTRACTORS, CONTRACTING AGENCIES, VENDORS, AND OTHER PERSONNEL ONLY IN ACCORDANCE WITH THE NOTES. ADDITIONALLY, CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT SCALE THE DRAWING IN ANY WAY. ALL RIGHTS RESERVED. © COPYRIGHT, BUNDY-FINKEL ARCHITECTS, 2024.

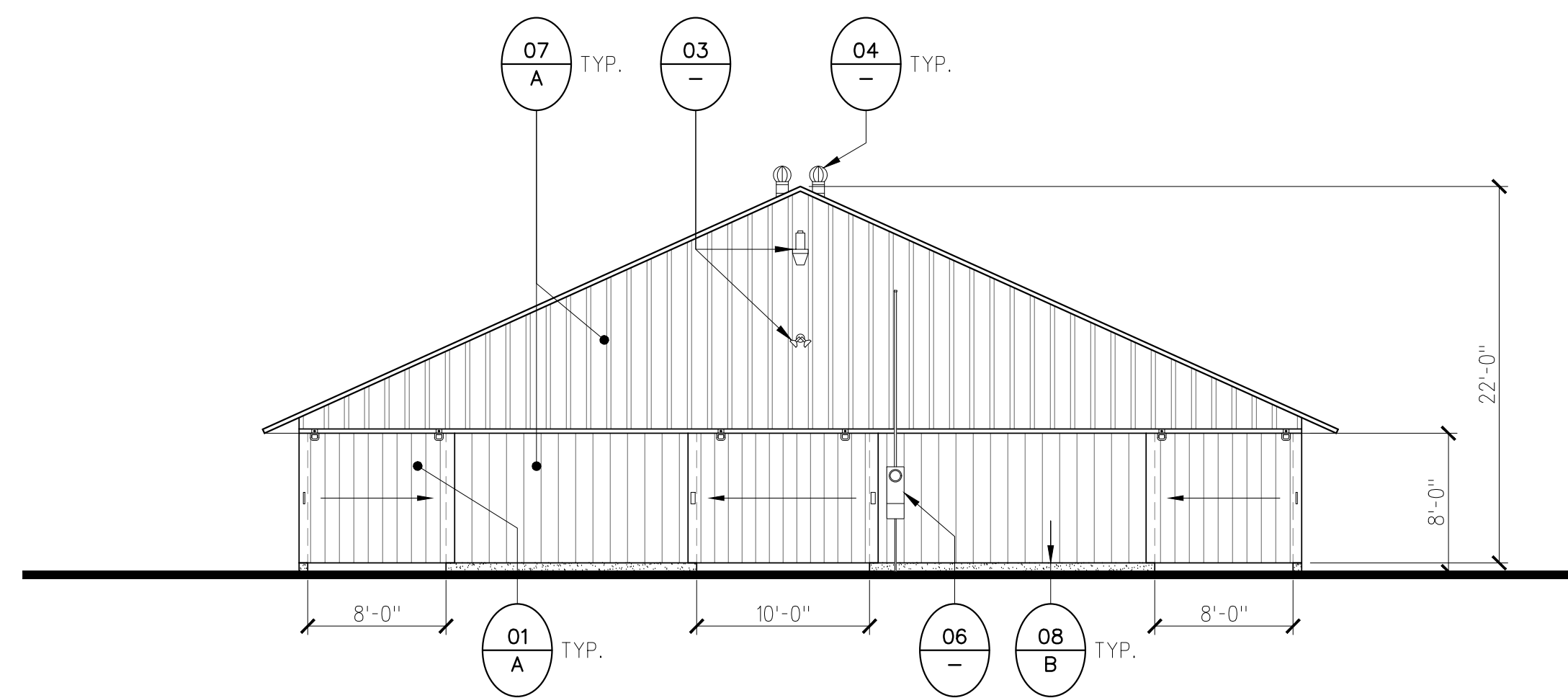
PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

USE PERMIT PLANNING RE-SUBMITTAL 10-02-23
 USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
 USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
 USE PERMIT PLANNING RE-SUBMITTAL 03-23-24
 USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

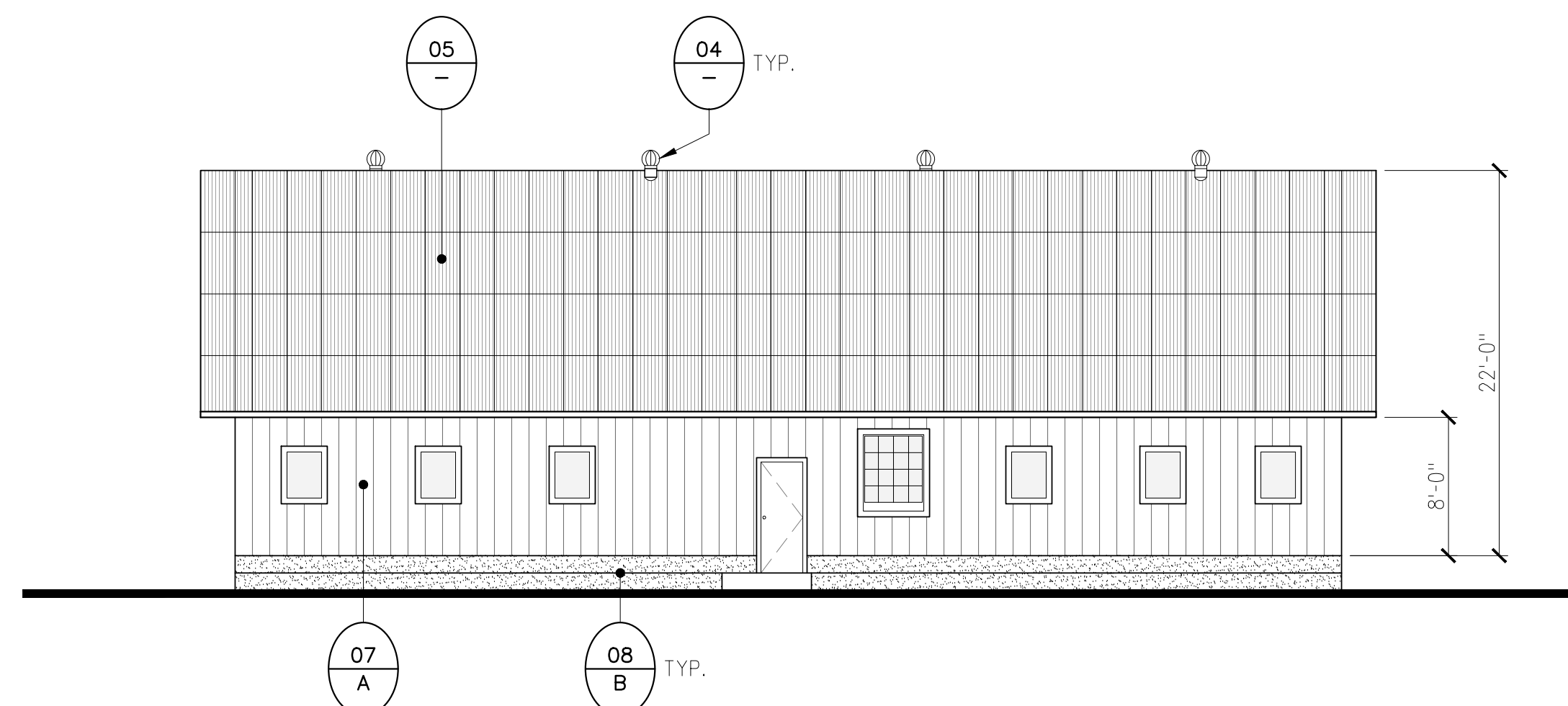
FILE: 808_A3_1_EE_OWH.dwg

SHEET

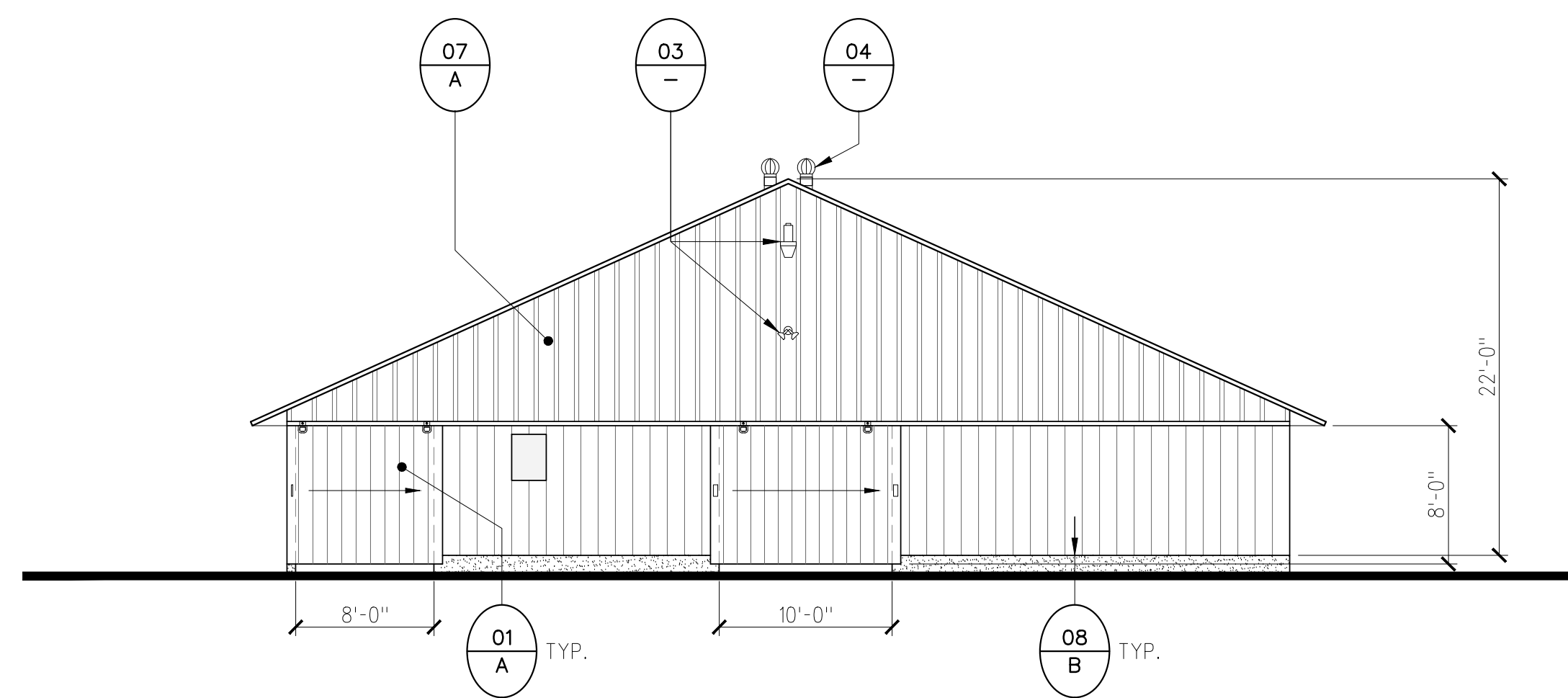
A3.1



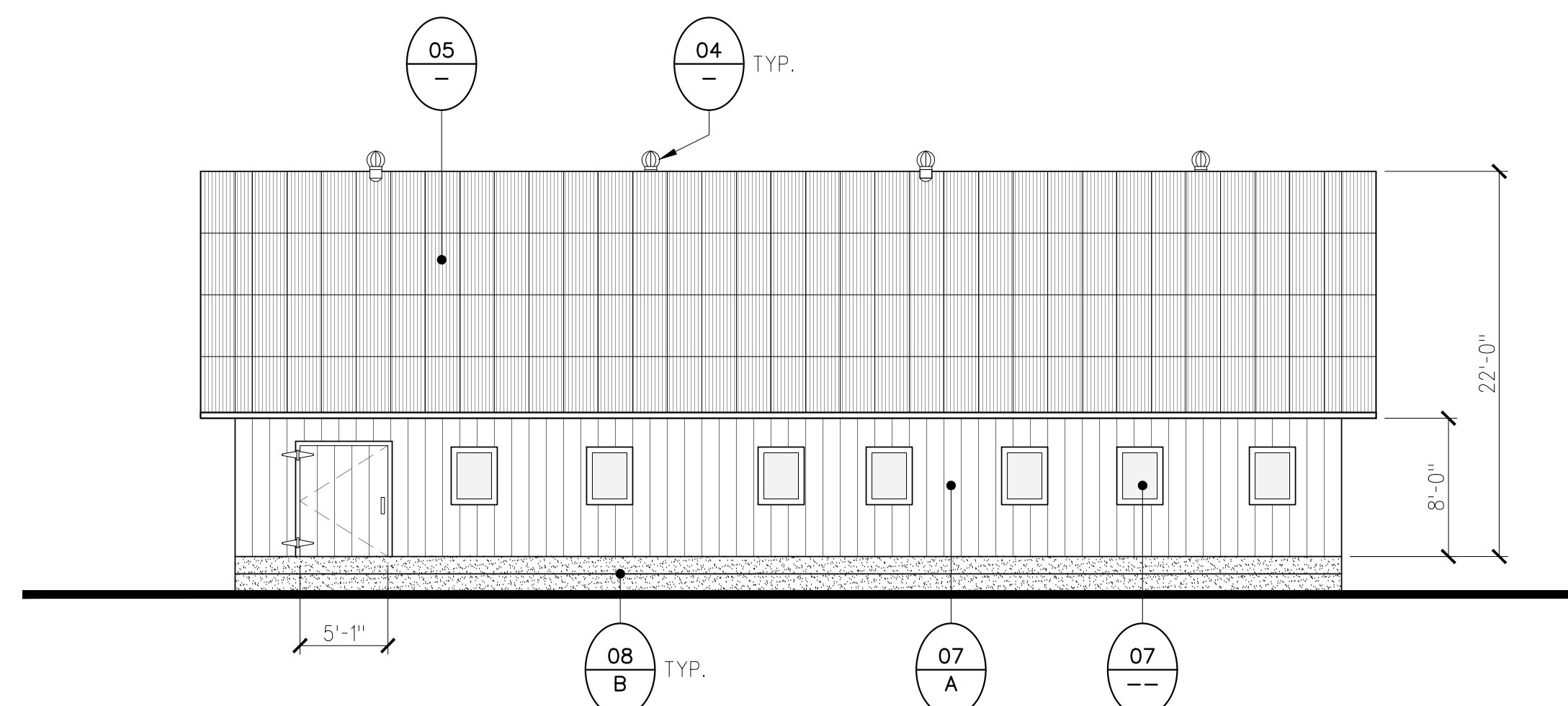
1 SOUTH ELEVATION - FACING THE PRIVATE DRIVE 1/8"=1'-0"



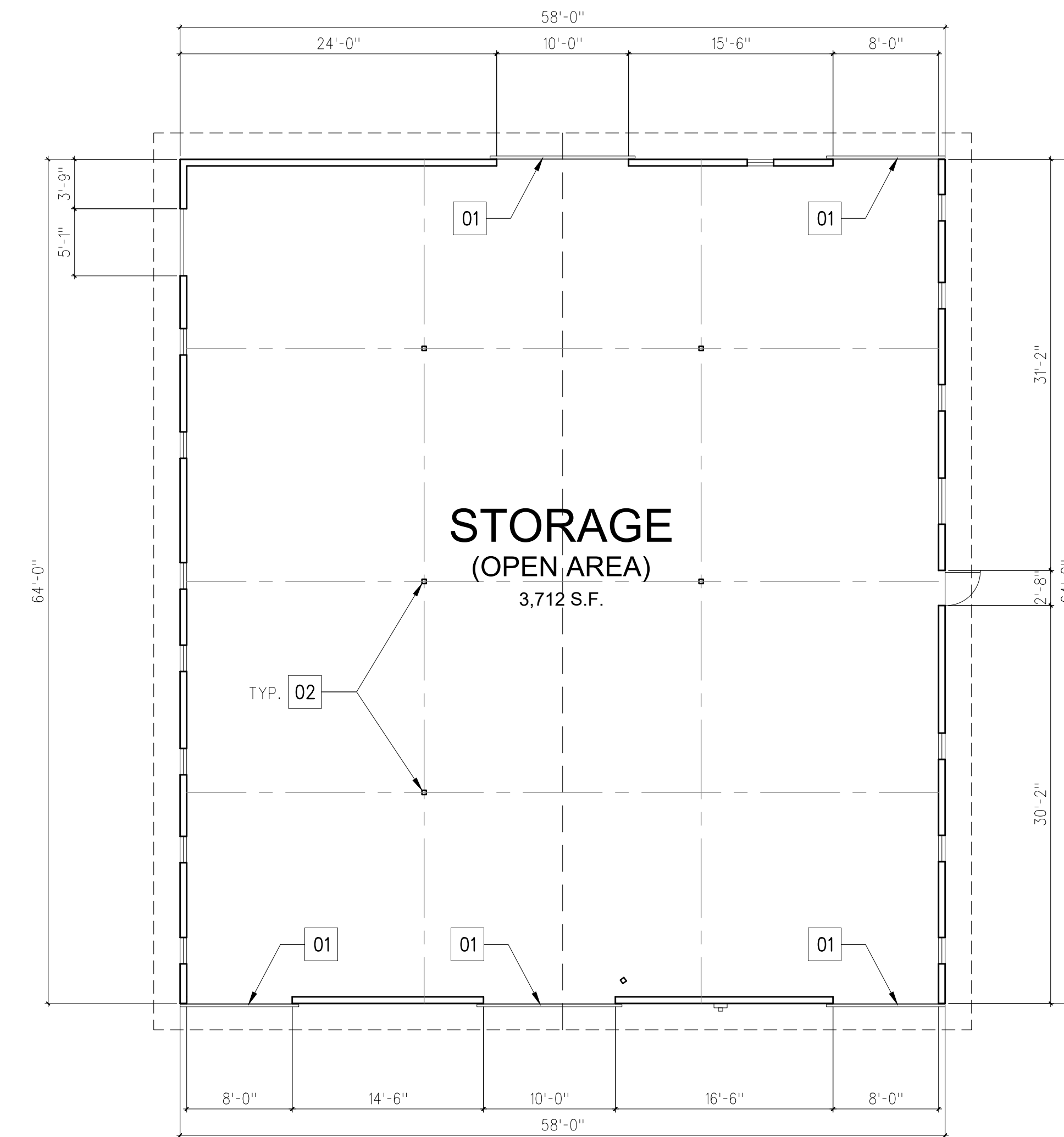
2 EAST ELEVATION 1/8"=1'-0"



3 NORTH ELEVATION 1/8"=1'-0"



4 WEST ELEVATION 1/8"=1'-0"



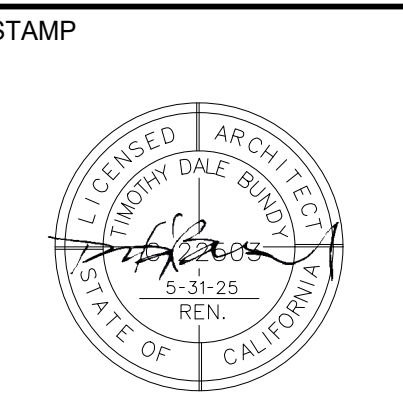
A EXISTING BARN FLOOR PLAN 1/8"=1'-0"

KEYNOTES

- | NO. | DESCRIPTION |
|-----|--|
| 1. | SLIDING WOOD DOOR |
| 2. | EXISTING WOOD POST |
| 3. | EXISTING LIGHTING |
| 4. | EXISTING ROTATING VENTS - (4) TOTAL |
| 5. | EXISTING CORRUGATED SHEET METAL ROOFING |
| 6. | EXISTING WINDOW OPENINGS |
| 7. | EXISTING WOOD SIDING W/ WEATHERED BROWNISH RED COLOR |
| 8. | CONCRETE BASE |

FINISHES

- | NO. | DESCRIPTION |
|-----|--|
| A. | SW EXTERIOR PAINT
COLOR: SW 7951 RED BARN |
| B. | EXPOSED CONCRETE |



PROJECT NAME:
GREAT SCOTT TREE CARE
 20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

SHEET TITLE
EXISTING BARN FLOOR PLAN AND EXTERIOR ELEVATIONS

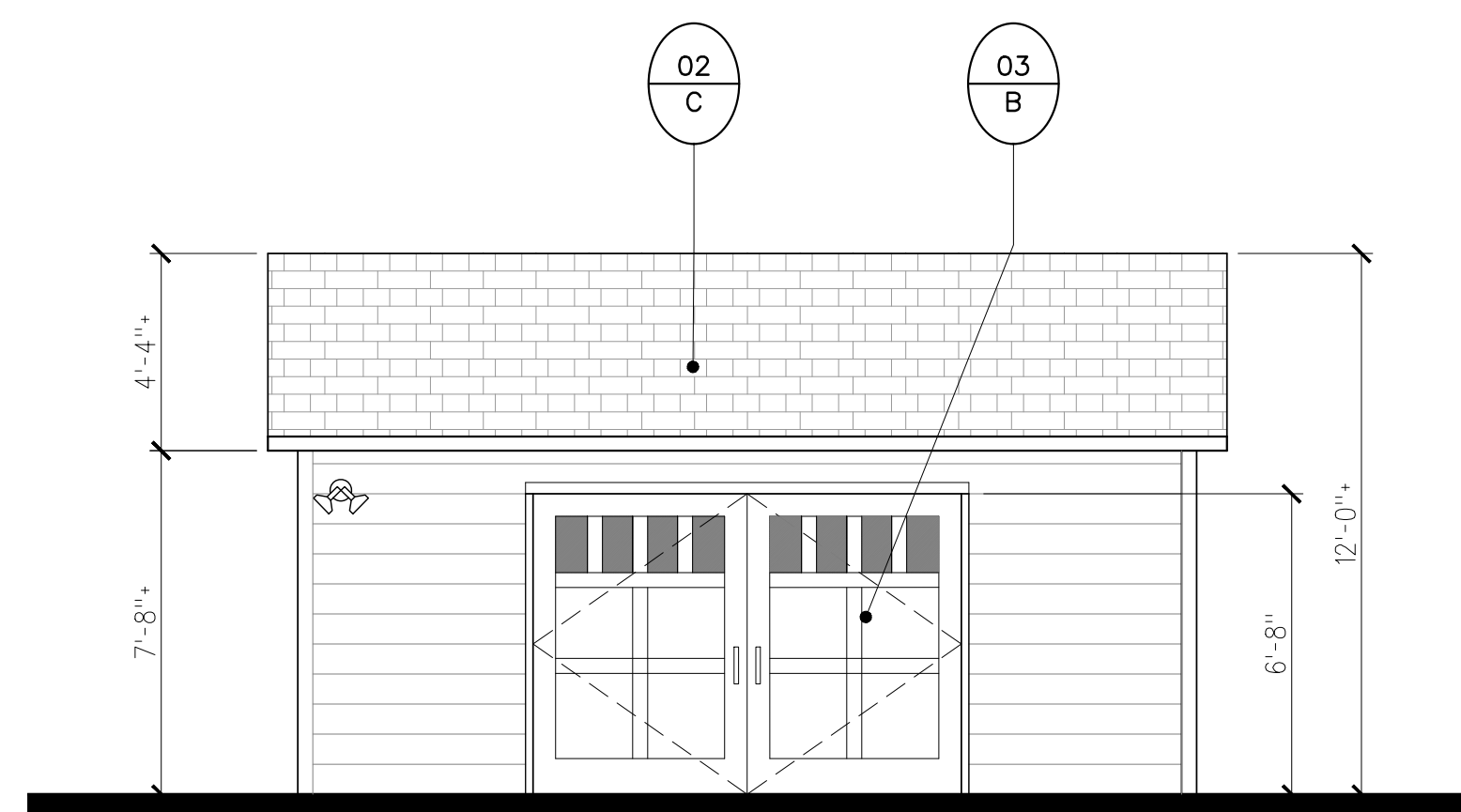
NOTICE: THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS AND MODEL RENDERINGS, ARE PROPRIETARY AND SHALL NOT BE COPIED, REPRODUCED, REUSED OR COMMERCIALLY EXPLOITED IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF ARCHITECTURE AND ENGINEERING AND THE BOARD OF REGISTERED PROFESSIONAL ENGINEERS AND SURVEYORS. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS AND THE INFORMATION OF THE ARCHITECT AND ANY OTHER PERSONNEL, CONTRACTORS, SUPPLYING AGENCIES, VENDORS, AND OTHER PERSONNEL, ONLY IN ACCORDANCE WITH THE RULES. ADDITIONALLY, CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT SCALE THE DRAWINGS IN ANY CASE.

PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

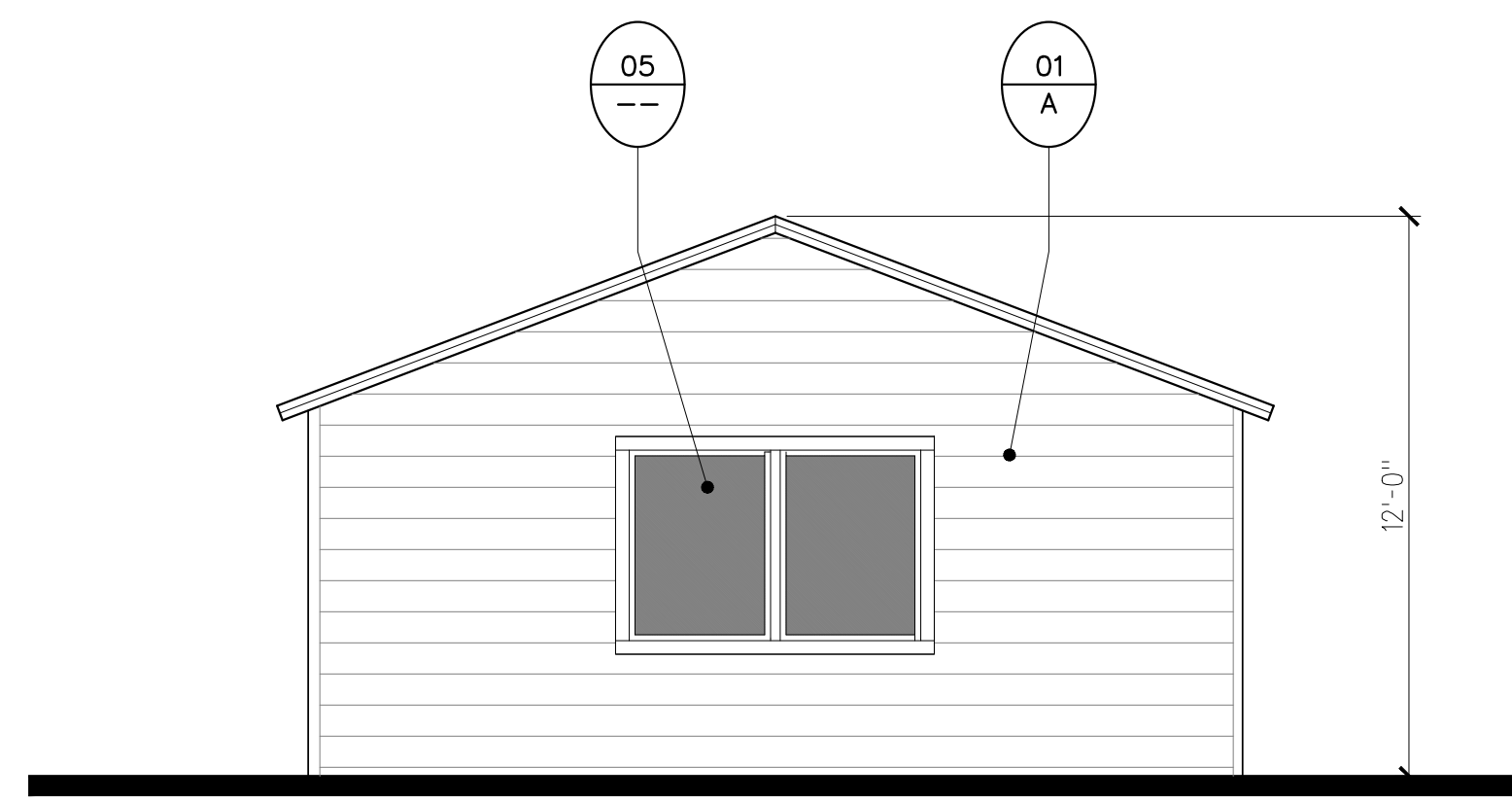
USE PERMIT PLANNING RE-SUBMITTAL 10-02-23
 USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
 USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
 USE PERMIT PLANNING RE-SUBMITTAL 03-22-24
 USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808_A4_1_FP-EE_BARN.dwg

SHEET
A4.1



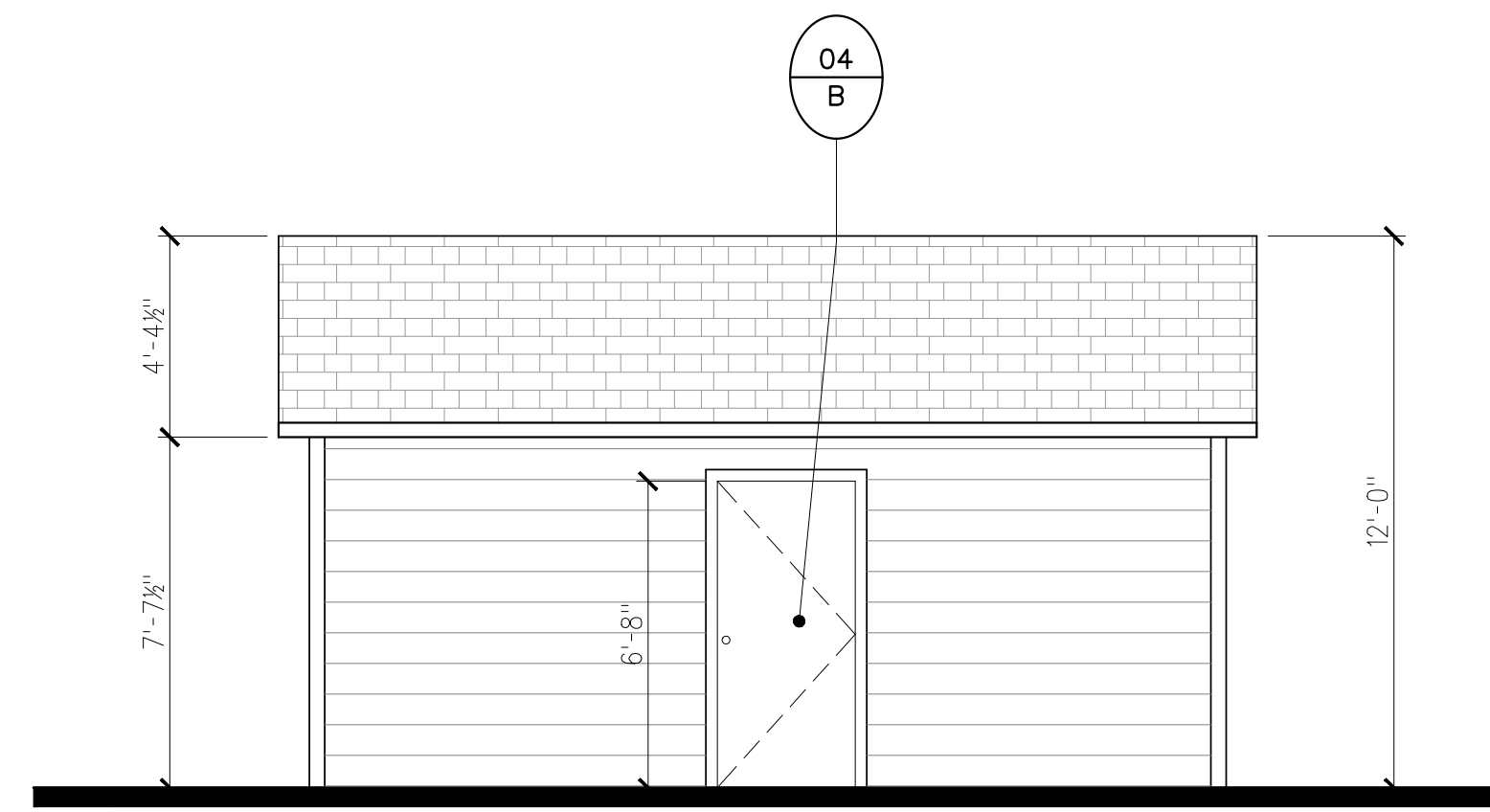
1 SOUTH ELEVATION 1/4"=1'-0"



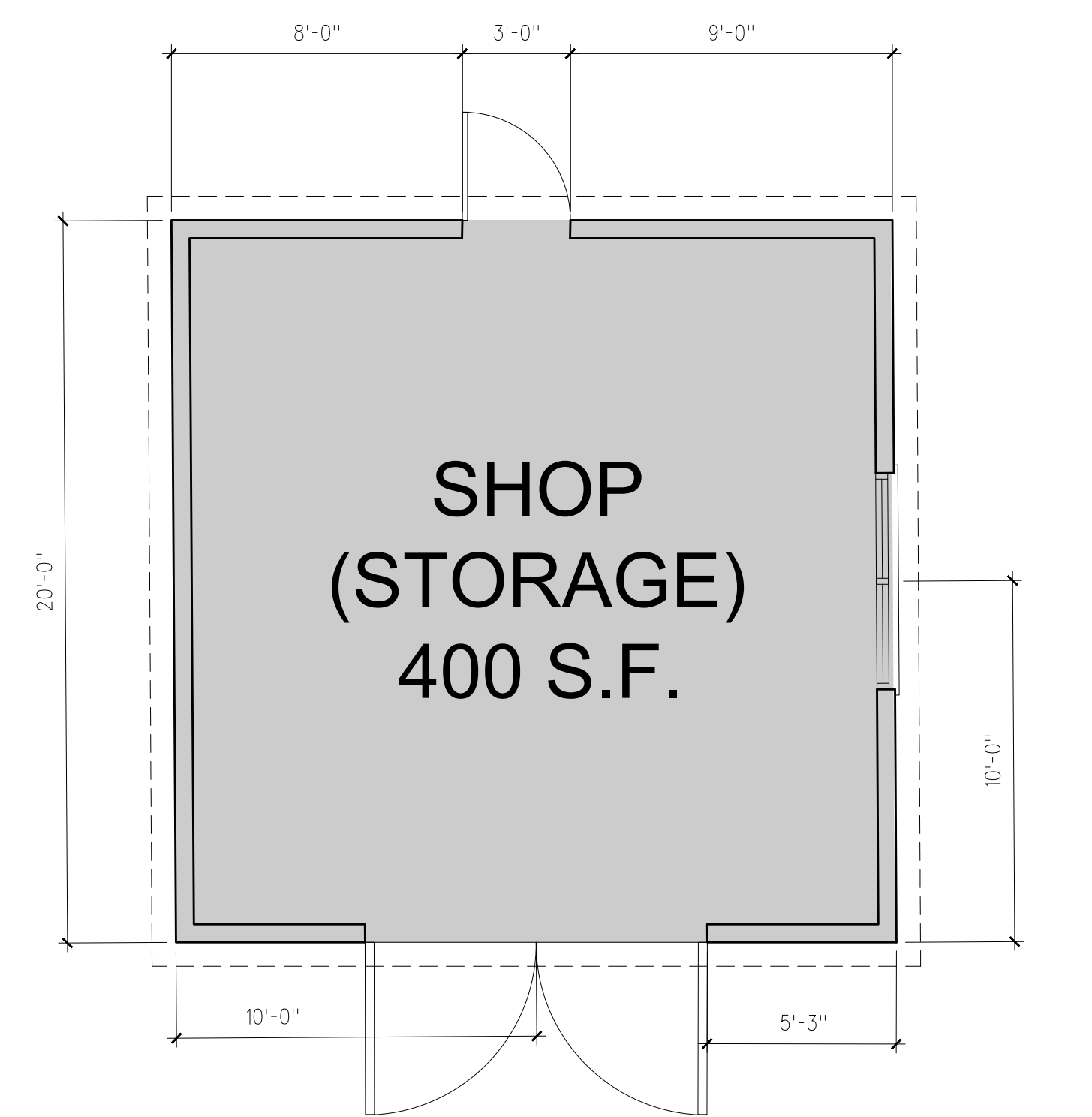
2 EAST ELEVATION 1/4"=1'-0"



3 NORTH ELEVATION 1/4"=1'-0"



3 WEST ELEVATION 1/4"=1'-0"



A EXISTING SHOP FLOOR PLAN 1/4"=1'-0"

GENERAL NOTES

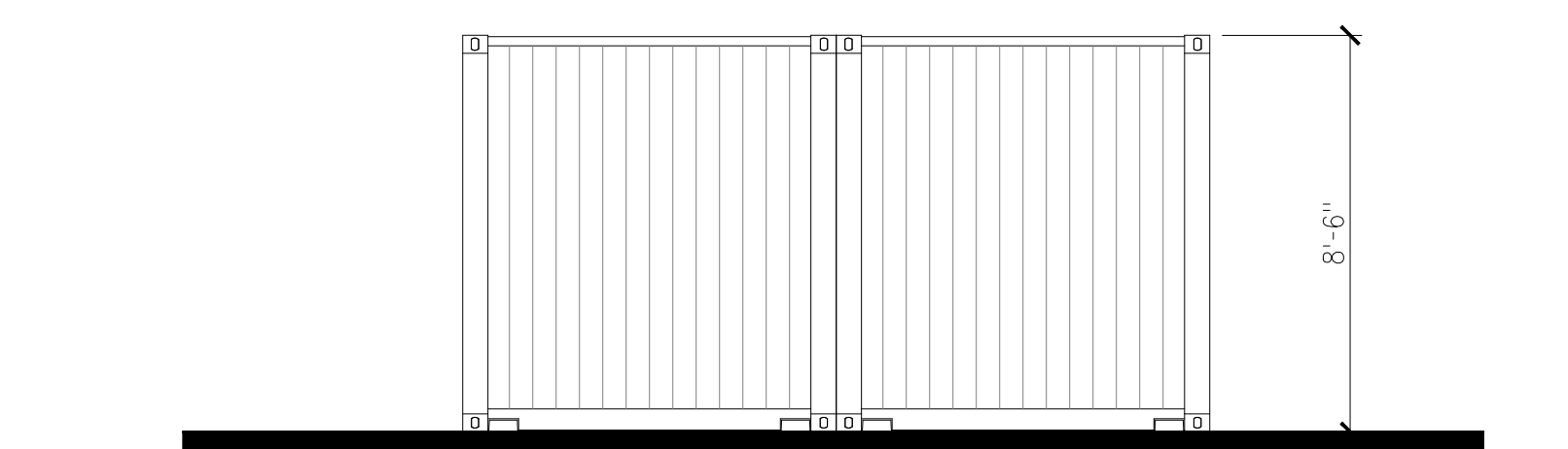
USE: ON-SITE STORAGE
 PARK PROVIDED: 0

KEYNOTES

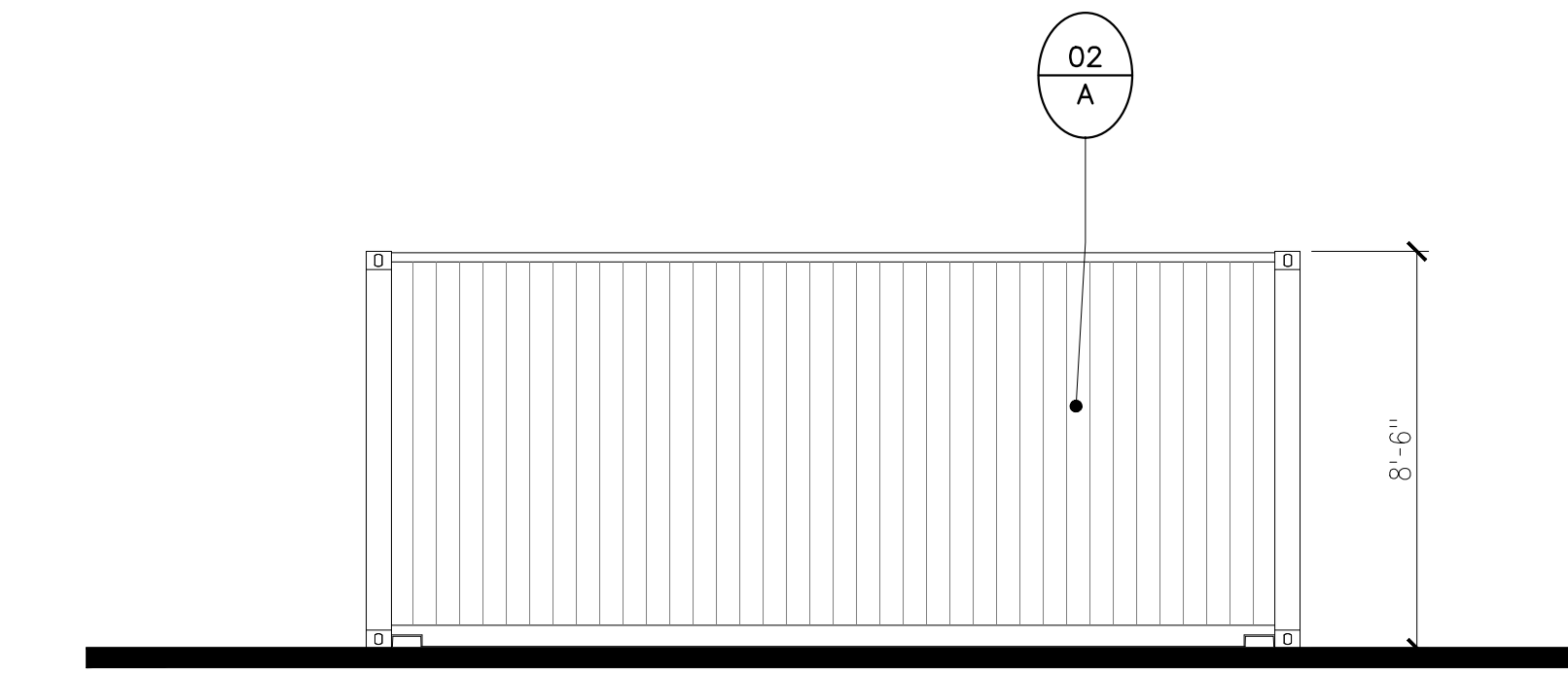
- | NO. | DESCRIPTION |
|-----|---|
| 1. | NEW WOOD SIDING TO MATCH OFFICE STYLE, COLOR & RATING |
| 2. | NEW ROOF TO MATCH OFFICE |
| 3. | NEW PROPOSED SWINGING GARAGE DOOR - PAINT |
| 4. | EXISTING MAN DOOR - REPAIR OR REPLACE AS NEC. PAINT TO MATCH OFFICE |
| 5. | EXISTING WINDOW - REPLACE AS REQ'D TO MATCH OFFICE STYLE, RATE AS MAY BE REQUIRED |
| 6. | EXISTING SECURITY LIGHT - REPLACE TO MATCH OFFICE AS NEC. |

FINISHES

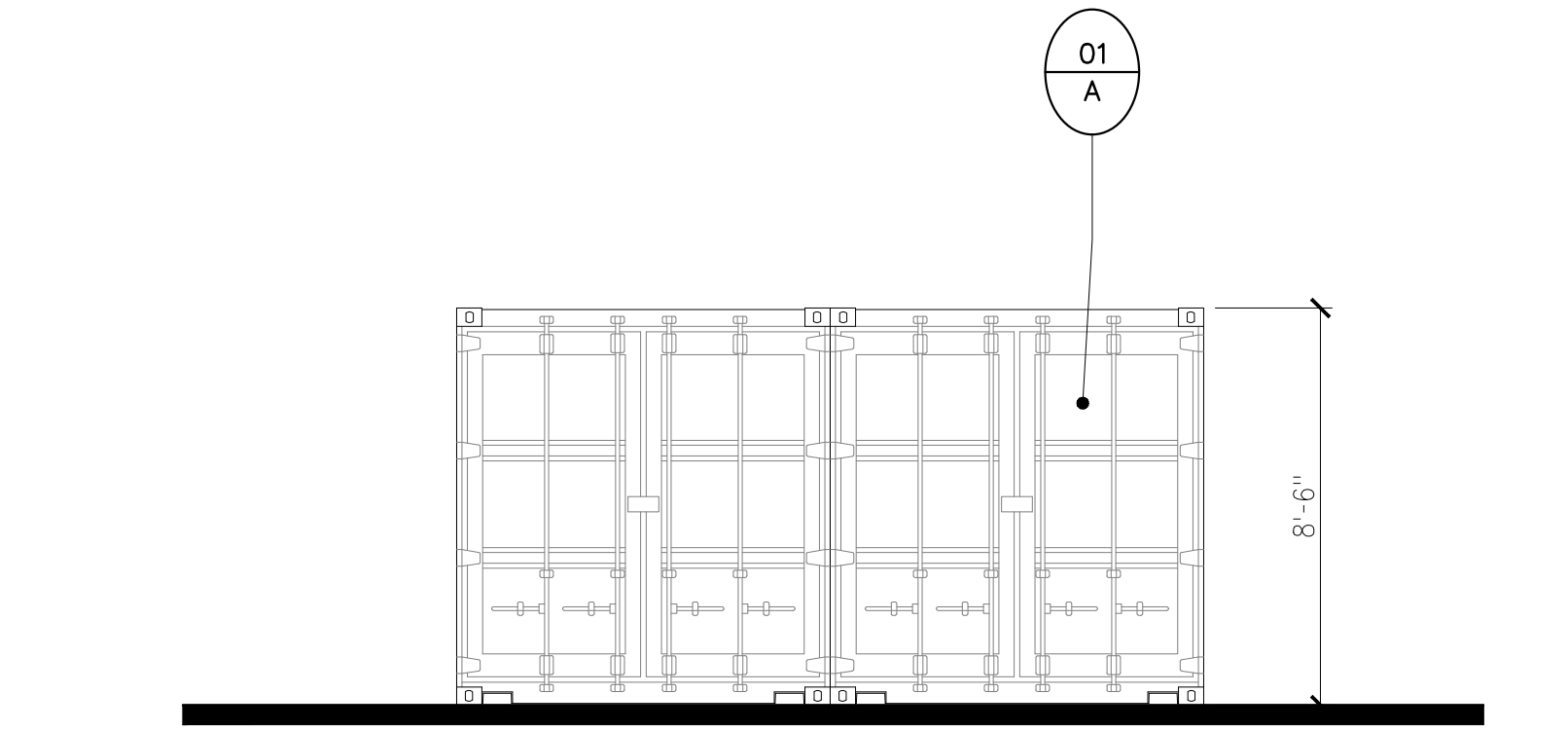
- | NO. | DESCRIPTION |
|-----|---------------------------|
| A. | EXTERIOR PAINT: COLOR TBD |
| B. | EXTERIOR PAINT: COLOR TBD |
| C. | ROOF MATERIAL: TBD |



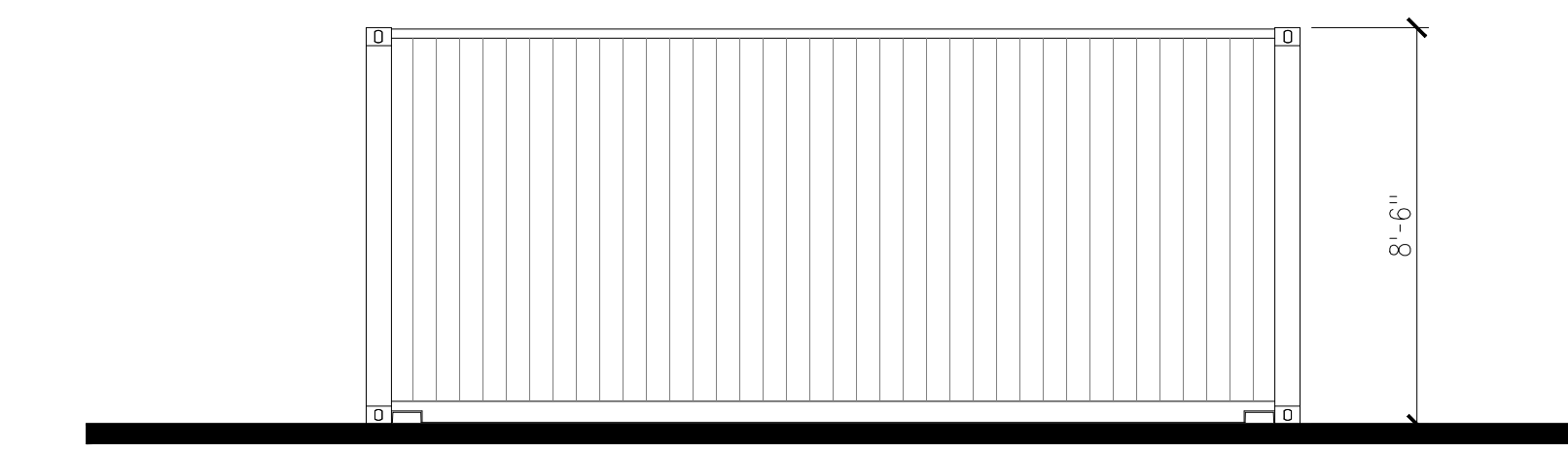
1 SOUTH ELEVATION 1/4"=1'-0"



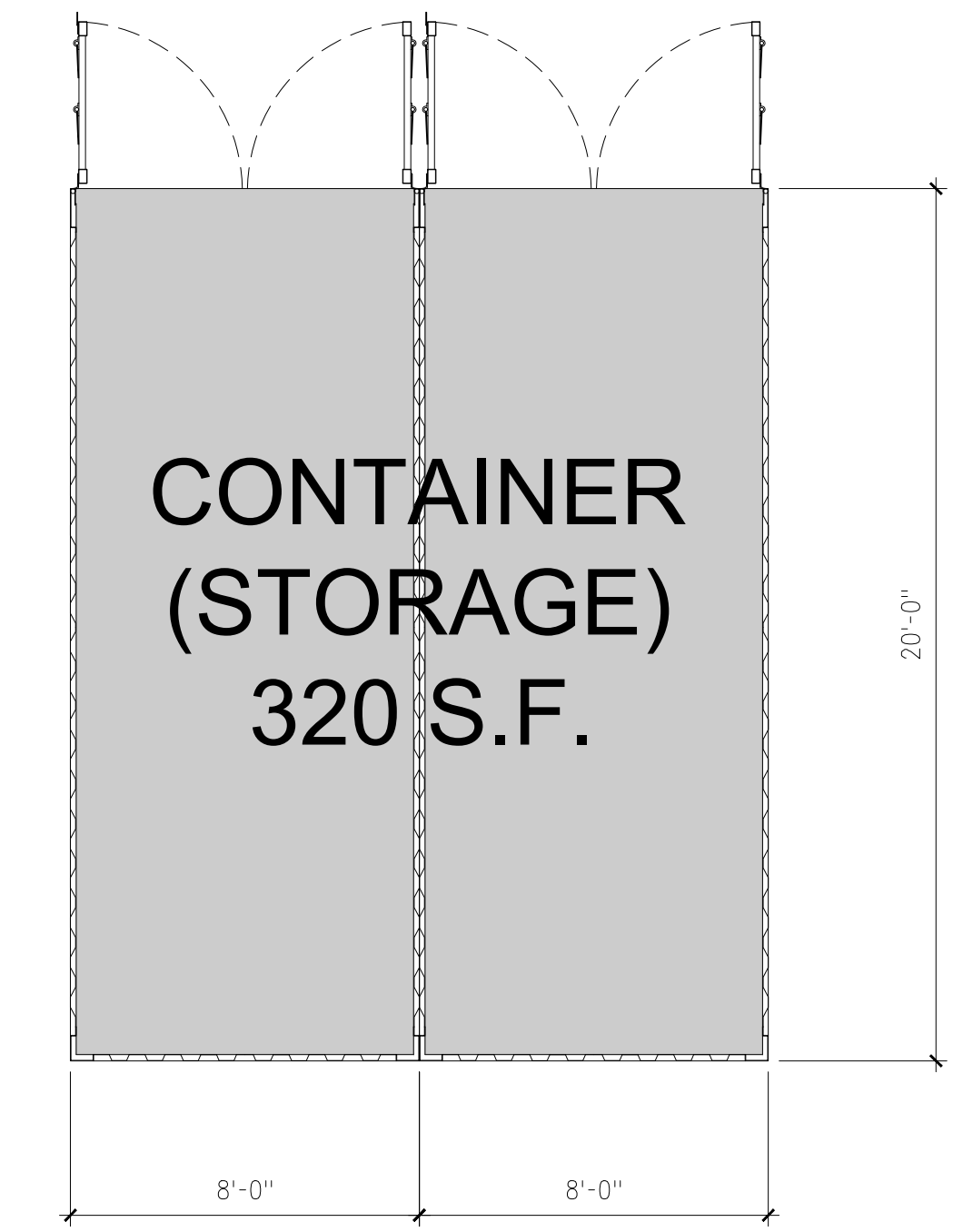
2 EAST ELEVATION 1/4"=1'-0"



3 NORTH ELEVATION 1/4"=1'-0"



3 WEST ELEVATION 1/4"=1'-0"



A CONTAINER FP 1/4"=1'-0"

GENERAL NOTES

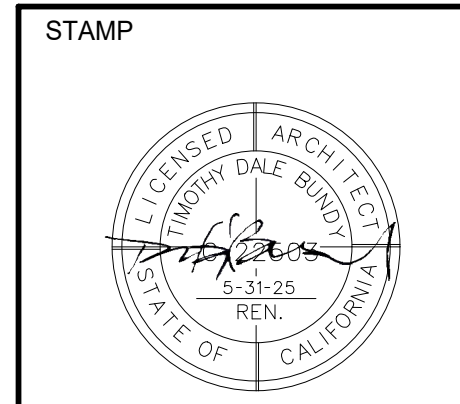
USE: ON-SITE STORAGE
 PARK PROVIDED: 0

KEYNOTES

- | NO. | DESCRIPTION |
|-----|--|
| 1. | EXISTING METAL DOORS - CLEAN AND PAINT |
| 2. | EXISTING METAL WALLS - CLEAN AND PAINT |

FINISHES

- | NO. | DESCRIPTION |
|-----|---------------------------|
| A. | EXTERIOR PAINT: COLOR TBD |



PROJECT NAME:
GREAT SCOTT TREE CARE
 20751 & 20761 LINEAR LN
 LAKE FOREST, CA 92630

SHEET TITLE
SHOP & STORAGE CONTAINERS - FLOOR PLAN, EXTERIOR ELEVATIONS, GENERAL INFO.

NOTICE: THE DESIGN SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS AND SCHEDULES, ARE PROPRIETARY AND SHALL NOT BE COPIED, REPRODUCED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF BUNDY-FINKEL ARCHITECTS. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND PRACTICES OF THE ARCHITECTURAL AND ENGINEERING PROFESSIONS. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THE INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THE DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT SCALE THE DRAWINGS IN ANY CASE. ALL RIGHTS RESERVED. © COPYRIGHT, BUNDY-FINKEL ARCHITECTS, 2024

PROJECT NO.: 23-808
 LAST ISSUE DATE: 10-02-23
 BY: JA CHKD: TB

USE PERMIT PLANNING RE-SUBMITTAL 10-02-23
 USE PERMIT PLANNING RE-SUBMITTAL 12-21-23
 USE PERMIT PLANNING RE-SUBMITTAL 01-26-24
 USE PERMIT PLANNING RE-SUBMITTAL 03-23-24
 USE PERMIT PLANNING RE-SUBMITTAL 05-09-24

FILE: 808_A4.2_FP-EE_SH-STOR.dwg

SHEET
A4.2